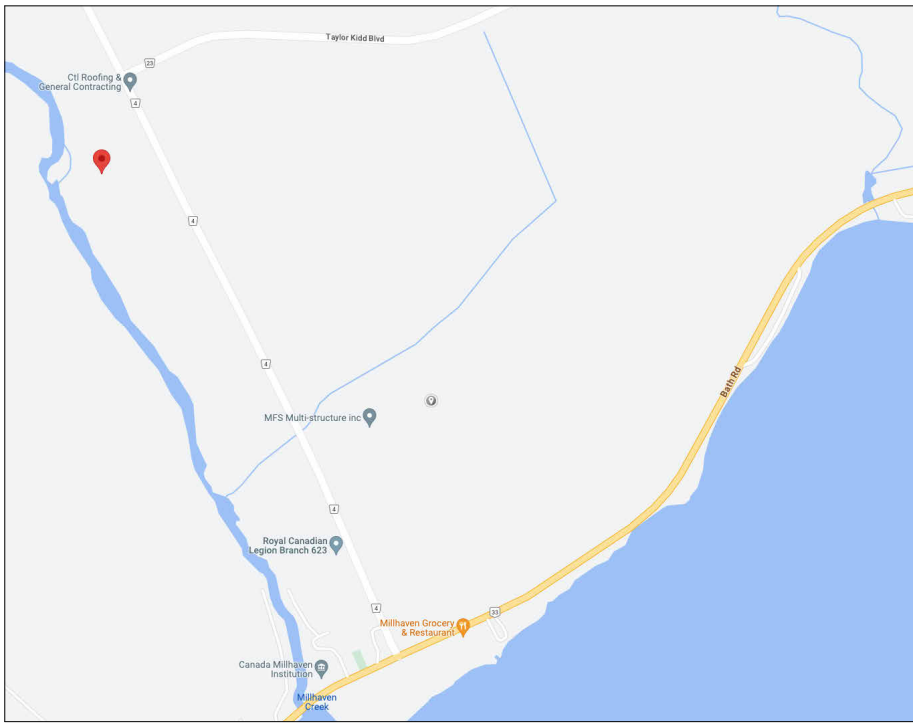


ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9							OBC REFERENCE			
1	PROJECT DESCRIPTION: WAREHOUSE FIT-UP ADDITION OF 1 GARAGE BAY TO EXISTING REPAIR GARAGE ☐ CHANGE OF USE ☐ ALTERATION			☐ NEW	☐ PART 11	11.1 TO 11.4		☐ PART 3	1.1.2.4 [A]		
				☒ ADDITION							
2	MAJOR OCCUPANCY(S) F2- REPAIR GARAGE							1.4.1.2 [A]			
3	BUILDING AREA (m2)		EXISTING: 410.45	NEW: 92.80	TOTAL: 503.25		9.10.2				
4	GROSS AREA		EXISTING: 484.68	NEW: 92.80	TOTAL: 577.48		1.4.1.2.[A]				
5	NUMBER OF STOREYS		ABOVE GRADE: 2		BELOW GRADE: 0		1.4.1.2. [A] & 9.10.4				
6	HEIGHT OF BUILDING (m):		5.71m				2.1.1.3				
7	NUMBER OF STREETS/ACCESS ROUTES:						9.10.20				
8	BUILDING CLASSIFICATION:		F2				9.10.2				
9	SPRINKLER SYSTEM PROPOSED			☐ ENTIRE BUILDING (EXIST) ☐ BASEMENT ONLY ☐ IN LIEU OF ROOF RATING ☒ NOT REQUIRED			9.10.8				
10	STANDPIPE REQUIRED			☐ YES ☒ NO			N/A				
11	FIRE ALARM REQUIRED			☐ YES ☒ NO			9.10.18				
12	WATER SERVICE/SUPPLY IS ADEQUATE			☒ YES ☐ NO			N/A				
13	HIGH BUILDING			☐ YES ☒ NO			N/A				
14	PERMITTED CONSTRUCTION			☒ COMBUSTIBLE ☐ NON COMBUSTIBLE ☐ BOTH			9.10.6				
	ACTUAL CONSTRUCTION			☒ COMBUSTIBLE ☐ NON COMBUSTIBLE ☐ BOTH							
15	MEZZANINE(S) AREA m2:		N/A				9.10.4.1				
16	OCCUPANT LOAD BASED ON			☐ m2 / PERSON ☐ DESIGN OF BUILDING				9.9.1.3			
	BASEMENT:	OCCUPANCY		LOAD	N/A	PERSONS					
	1ST FLOOR:	OCCUPANCY	F2	LOAD	11	PERSONS					
	2ND FLOOR:	OCCUPANCY	F2	LOAD	2	PERSONS					
17	BARRIER FREE DESIGN			☒ YES ☐ NO		EXPLAIN:		9.5.2			
18	HAZARDOUS SUBSTANCES			☐ YES ☐ NO				9.10.1.3			
19	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES			LISTED DESIGN NO.			9.10.8			
		FRR (HOURS)			OR DESCRIPTION (SG-2)			9.10.9			
		FLOORS	45	MIN							
		ROOF	N/A	HOURS							
		MEZZANINE	N/A	HOURS							
		FRR OF SUPPORTING			LISTED DESIGN NO.						
		MEMBERS			OR DESCRIPTION (SG-2)						
		FLOORS	45	HOURS							
	ROOF	N/A	HOURS								
	MEZZANINE	N/A	HOURS								
20	PLUMBING FIXTURE REQUIREMENTS										
	MALE / FEMALE COUNT @ 50% / 50% EXEPT AS NOTED OTHERWISE		OCCUPANT	BC TABLE	FIX.	FIX.					
			LOAD	NUMBER	REQ'D	PROVD					
	WOMEN		7	3.7.4.9	1	1					
	MEN		7	3.7.4.9	1	2					
	BARRIER FREE										
21	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS							9.10.14			
	WALL	AREA OF	L.D.	L/H	PERMITTED	PROPOSED	FRR	LISTED	COMB.	COMB. CONST.	NON-COMBST.
		EBF	(m)	OR	MAX % OF	% OF	(HOURS)	DESIGN OR	CONST	NONC.	CONSTR.
		(m2)		H/L	OPENINGS	OPENINGS		DESCRIPTION		CLADDING	
	NORTH	5.48	123.46		N/A		N/A		☒		
	EAST	3.81	N/A		N/A		N/A		☒		
	SOUTH	108.60	66.55		N/A		N/A		☒		
	WEST	2.14	26.25		N/A		N/A		☒		
22	OTHER - DESCRIBE										



NOTE: RENDERINGS FOR VISUAL REPRESENTATION ONLY. REFER TO FLOOR LAYOUTS AND ELEVATIONS FOR FINAL.



1 SITE LOCATION MAP
A.O SCALE: N.T.S.

240 COUNTY ROAD 4, BATH, ONTARIO KOH IGO

DRAWING LIST

ARCHITECTURAL		STRUCTURAL	
A.O	COVER SHEET	6001	GENERAL NOTES & DESIGN CRITERIA
A.O.0	GENERAL NOTES	6002	GENERAL NOTES & DESIGN CRITERIA
A.O.0.0	STANDARD DETAILS	6003	GENERAL NOTES & DESIGN CRITERIA
A.1	SITE PLAN	6101	PLANS & TYPICAL DETAILS
D.1	DEMOLITION PLAN	6201	SECTION DETAILS
A.2	FOOTING/ FOUNDATION PLAN	ELECTRICAL	
A.3	MAIN FLOOR/ UPPER FLOOR PLAN	E-1	ELECTRICAL LEGENDS AND DETAILS
A.3.1	REFLECTED CEILING PLANS	E-2	GROUND FLOOR DEMOLITION & NEW WORK
A.4	ROOF PLAN/ WINDOW ELEVATIONS	E-3	ELECTRICAL SPECIFICATIONS
A.5	NOTES AND DETAILS	MECHANICAL	
A.6	ELEVATIONS	M-1	MECHANICAL LEGEND, EGENERAL NOTES, KEY PLAN & DRAWING LIST
CIVIL		M-2	MECHANICAL - PLUMBING
C1	SITE SERVICING PLAN	M-3	MECHANICAL - HVAC SYSTEMS
C2	EXISTING & PROPOSED SEPTIC SYSTEMS	M-4	MECHANICAL SPECIFICATIONS
C3	GRADING LIST		
C4	EROSION SEDIMENT CONTROL PLAN		
C5	NOTES AND DETAILS		
C6	DETAILS		
C7	POST-DEVELOPMENT DRAINAGE PLANS		

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NOTES:
REFER TO GENERAL NOTES FOR ALL TYPICAL CONSTRUCTION
NOTES & DETAILS. WHEN DRAWINGS OR NOTES REFERENCE
O.B.C. IN ALL CASES PLEASE REFER TO THE LATEST VERSION
OF THE ONTARIO BUILDING CODE 2024.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
EACH OTHER, SPECIFICATIONS & OTHER CONTRACT DOCUMENTS

LEGEND:

- 1 EXTERIOR DOOR & WINDOW TAG (SEE SCHEDULE)
- 1 INTERIOR DOOR TAG (SEE SCHEDULE)
- W1 EXTERIOR WALL TYPE (SEE A.O.0)
- P1 INTERIOR PARTITION WALL TYPE (SEE A.O.0)

LEGEND:

- F1 FLOOR TYPE (SEE A.O.0)
- R1 ROOF TYPE (SEE A.O.0)
- P1 POST TYPE (SEE A.O.0)
- L1 LINTEL TYPE (SEE A.O.0)
- F1 PAD FOOTING TYPE (SEE A.O.0)
- W1 WALL FOOTING TYPE (SEE A.O.0)
- 1 CONSTRUCTION NOTE

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+ASSOCIATES
ARCHITECTURE

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+ 120 Terence Matthews Cres.
Unit B1, Ottawa, ON K2M 1P7
613-831-9688
+ info@bell.ca
bellarchitecture.ca

VERSION NO.

2

SEAL:

NOTES:
• ALL CONTRACTORS MUST COMPLY WITH ALL CODES & BYLAWS HAVING JURISDICTION
• IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK & VERIFY ALL
DIMENSIONS ON SITE & REPORT ALL ERRORS AND/OR OMISSIONS TO THE DESIGNER PRIOR TO
COMMENCEMENT.
• DO NOT SCALE DRAWINGS.
• DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL NOTED AS ISSUED FOR CONSTRUCTION.

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REVISIONS

NO	ITEM	DATE
1	ISSUED FOR 25%	31/10/2023
2	ISSUED FOR 50%	01/12/2023
3	ISSUED FOR FINAL REVIEW	15/09/2024
4	ISSUED FOR PERMIT	05/19/2026

PROJECT

240 COUNTY ROAD 4,
BATH, ON KOH IGO

CLIENT

LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION

DRAWING

COVER SHEET

SCALE AS INDICATED

DRAWN BY ETY
DATE SEPT. 12, 2023
CHKD BY TJG
APPRD BY JCB
PROJECT NO. 223-056
SHEET NO.

A.O

- GENERAL NOTES**
- THE DESIGN & CONSTRUCTION OF THIS PROJECT IS TO CONFORM TO THE REQUIREMENTS OF THE NATIONAL BUILDING CODE OF CANADA (2015), ONTARIO BUILDING CODE (2024) & THE CSA STANDARDS INDICATED THEREIN. THE LATEST REVISIONS TO ALL STANDARDS WILL GOVERN.
 - THE CONTRACTOR & SUB CONTRACTOR SHALL CHECK & VERIFY ALL CONDITIONS & MEASUREMENTS AT THE SITE AND REPORT ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE WORK IMMEDIATELY TO THE ENGINEER AND/OR PROJECT CO-ORDINATOR PRIOR TO PROCEEDING WITH THE WORK. WHEN IN DOUBT, THE ARCHITECTURAL DRAWINGS WILL GOVERN.
 - THE CONTRACTORS SHALL BE RESPONSIBLE FOR ANY DEWATERING REQUIRED TO UNDERTAKE THE WORK.
 - THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS & OTHER CONTRACT DOCUMENTS.
 - NOTIFY BELL + ASSOCIATES ARCHITECTURE IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES WITH DIMENSIONS, ELEVATIONS ANGLES & WORK POINTS. DO NOT SCALE DRAWINGS.
 - MECHANICAL VENTILATION TO CONFORM TO O.B.C. 2024 9.32.3
 - GROUT ALL BEAM POCKETS SOLID WITH NON SHRINK GOUT
 - CARRY ALL POST LOAD DOWN TO FOUNDATION OR SUITABLE BEARING PROVIDE SOLID WOOD BLOCKING WHERE REQUIRED.
 - ALL BEAMS SECURED TO COLUMNS
 - SECURE ALL HOT WATER TANKS TO STRUCTURE.
 - PROVIDE TRAP SEAL PRIMER IN ALL BASEMENT FLOOR DRAINS.
 - GUARDS AND RAILS TO BE MIN 36" OR 42" ABOVE FLOOR/NOISING AS PER OBC 9.8.8/9.8-1.

- STRUCTURAL NOTES**
- THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH PART 9 OF THE 2024 ONTARIO BUILDING CODE.
 - ALL CONSTRUCTION NOT EXPLICITLY FOUND ON DRAWINGS TO BE DONE IN ACCORDANCE WITH PART 9 O.B.C. 2024.
 - DESIGN ALLOWABLE BEARING CAPACITY ASSUMED TO BE 100KPA MIN. TO BE CONFIRMED BY OTHERS.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS GIVEN ON DRAWINGS AND REPORT ANY INCONSISTENCIES AND/OR DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH WORK.
 - DRAWINGS ILLUSTRATE WORK TO BE DONE. ENGINEER IS NOT RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY ASPECTS INVOLVED IN COMPLETING THE WORK.
 - ALL MATERIALS SHALL BE NEW AND MATERIAL FREE FROM DEFECTS IMPAIRING STRENGTH, DURABILITY AND/OR APPEARANCE.
 - ALL WOOD SHALL BE SPF NO. 1-2 OR BETTER
 - ALL STEEL SHALL BE GRADE 350W STEEL CONFORMING TO CSA-G40.20/G40.21 (Fy = 345 MPa)
 - PROVIDE FULL BEARING /SOLID BLOCKING UNDERNEATH ALL POINT LOADS FROM ABOVE TO STRUCTURE BELOW.
 - PROVIDE FULL LATERAL RESTRAINT TO THE TOP OF ALL WOOD AND STEEL BEAMS AND LINTELS.
 - BACKFILLING TO PROCEED SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS.
 - PROVIDE MINIMUM FROST PROTECTION OF 5'-0" TO W/S OF ALL HEATED FOOTINGS AND 6'-0" TO W/S OF ALL UNHEATED FOOTINGS
 - ALL POSTS TO BE P2 (2-2x4 OR 2-2x6 SEE WALL TYPE) SPRUCE UNLESS NOTED OTHERWISE.
 - PROVIDE MIN 4"x4"x1/4" END BEARING PLATE @ TOP AND BOTTOM OF ALL STEEL POSTS.
 - SECURE ALL POSTS TO BEAMS TO PREVENT LATERAL DISPLACEMENT.
 - WELD OR BOLT STEEL POSTS TO STEEL BEAMS.
 - ANCHOR BOLTS SPACED 4'-0" MAX. UNLESS NOTED OTHERWISE ON DRAWINGS.
 - CONSULTING ENGINEERS WILL NOT BE LIABLE FOR ANY CONSTRUCTION NOT INSPECTED OR REVIEWED.

GENERAL CONSTRUCTION ASSEMBLY NOTES:

- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS, WASHROOM CEILINGs AND WASHROOM WALLS. CEMENT BOARD TO BE USED ON ALL TUB DECKS AND SHOWER ENCLOSURES.
- PROVIDE TYPE 8 ROLL ROOFING ISOLATION MEMBRANE BETWEEN CONCRETE BELOW GRADE AND WOOD FRAMING OR INSULATION.
- REFER TO STRUCTURAL NOTES, FOOTING SCHEDULES AND DETAILS FOR CONCRETE WALL / FOOTING REINFORCING.
- PROVIDE CEMENT FARGING TO 12" BELOW GRADE ON ALL EXPOSED CONCRETE FOUNDATION WALLS.
- INTERIOR WOOD FRAMED PARTITIONS USE 2"x4" STUDS UNLESS OTHERWISE NOTED. EXTERIOR WALLS USE 2"x6" STUDS UNLESS OTHERWISE NOTED. FRAMING SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
- LAP & SEAL ALL JOINTS IN POLYETHYLENE VAPOUR BARRIER.
- ALL GYPSUM BOARD WALLS AND CEILINGS TAPED AND SANDED FOR PAINT OR SPECIFIED INTERIOR FINISH.
- REFER TO DRAWINGS FOR THICKNESS OF POURED CONCRETE FOUNDATION WALLS.
- TAPE & SEAL ALL JOINTS IN AIR / MOISTURE BARRIER. PROVIDE AIR SEAL TO ALL OPENINGS IN ACCORDANCE WITH DETAILS.
- PROVIDE BRICK TIES AND WEEP VENT HOLES IN MASONRY VENEER PER O.B.C. 9.20.13
- REFER TO ELEVATIONS FOR ORIENTATION OF PRE-FINISHED SIDING (VERTICAL BOARD & BATTEN, HORIZONTAL SIDING, OR SHAKES).
- ENSURE A FUME PROOF BARRIER BETWEEN GARAGE WALL AND INTERIOR SPACES.
- CERAMIC TILE ON ALL TUB AREAS WALLS TO UNDERSIDE OF BULKHEAD.
- PROVIDE SOILS REPORT TO INSPECTOR AT TIME OF INSPECTION STATED MIN. BEARING CAPACITY 100 KPA.

FOUNDATIONS

- ALL FOOTINGS TO BEAR ON SOUND & UNDISTURBED SOIL WITH AN ALLOWABLE BEARING VALUE OF 100 KPa MIN. BEARING SURFACE TO BE APPROVED BY GEOTECHNICAL ENGINEER BEFORE PLACING CONCRETE.
- PROTECT SUB-GRADE FROM WATER & FREEZING ADJACENT TO & BELOW ALL FOOTINGS AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE 1500mm (5'-0") MINIMUM FROST COVER (FINISHED GRADE TO W/S FOOTING) FOR HEATED FOOTINGS. CONSULT SOIL REPORT NOTED FOR ADDITIONAL REQUIREMENTS.
- BACKFILLING TO PROCEED SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS (EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED), & COMPACTED IN LAYERS AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- CONSULT GEOTECHNICAL ENGINEER FOR COMPOSITION & COMPACTION OF FILL SUPPORTING SLAB ON GRADE

CONCRETE

- THE DESIGN AND CONSTRUCTION OF CONCRETE IS TO CONFORM TO THE REQUIREMENTS OF THE FOLLOWING STANDARDS (INCLUDING LATEST REVISIONS):
 - CONCRETE MATERIALS & METHODS OF CONCRETE CONSTRUCTION CAN3-A23.1-94
 - METHODS OF TEST FOR CONCRETE CAN3-A23.2-94
 - CODE FOR DESIGN OF CONCRETE STRUCTURES FOR BUILDINGS CAN3-A23.3-M84
 - BILLET STEEL BARS FOR CONCRETE REINFORCEMENT Fy = 400MPa TO CSA G30.18-92
 - QUALIFICATION CODES FOR TESTING LABORATORIES CSA A283-90
 - AIR ENTRAINING ADMIXTURES FOR CONCRETE CAN3-A266.1-M18
 - CHEMICAL ADMIXTURES FOR CONCRETE CAN3-A266.2-M18
 - GUIDELINES FOR THE USE OF ADMIXTURES IN CONCRETE CAN3 A266.4 M18
- CONCRETE STRENGTH (AFTER 28 DAYS) SHALL BE AS FOLLOWS (OR AS STATED ON ENGINEER DRAWINGS):

FOOTINGS & FOUNDATION WALL	20 MPa
SLAB-ON-GRADE	25 MPa
GARAGE SLAB	32 MPa
EXTERIOR FLAT WORK	32 MPa

WOOD FRAMING

- ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE 2015 N.B.C., LATEST REVISIONS.
- ALL STRUCTURAL FRAMING LUMBER IS TO BE SPF NO. 2 GRADE OR BETTER, UNLESS NOTED. 'STUD' GRADE IS NOT ACCEPTABLE FOR BEARING WALLS, LINTELS AND POSTS.
- ALL BEARING WALLS ARE TO HAVE HORIZONTAL BLOCKING AT MID HEIGHT.
- ALL LOAD BEARING WALLS OVER 9'-0" TO 11'-10" MAX. TO HAVE CONTINUOUS HORIZONTAL BLOCKING AT MID POINT. ALL LOAD BEARING WALLS OVER 12'-0" TO HAVE CONTINUOUS HORIZONTAL BLOCKING AT THIRD POINTS & STRUCTURAL ENGINEERS APPROVAL.
- PROVIDE SOLID BLOCKING WALL REINFORCEMENT FOR GRAB BARS AS PER 9.5.2.3. OF O.B.C.
- ALL BEAMS REQUIRE RESTRAINT AGAINST LATERAL DISPLACEMENT & ROTATION AT THE POINTS OF BEARING.
- ALL BEAMS REQUIRE MIN. OF 3 1/2" END BEARINGS & BEAM WIDTH TO HAVE FULL BEARING SUPPORT.
- FOR BUILT-UP BEAMS, IT IS ASSUMED THAT EACH PLY IS A SINGLE CONTINUOUS MEMBER, FASTENED TOGETHER SECURELY AT INTERVALS NOT EXCEEDING 4 TIMES THE DEPTH & THAT EACH PLY IS EQUALLY LOADED.
- BUILT-UP RECTANGULAR COMPRESSION MEMBERS SHALL CONSIST OF INDIVIDUAL MEMBERS OF EQUAL LENGTH FASTENED TOGETHER USING NAILS, LAG SCREWS OR BOLTS.
- WHEN USED, NAILS SHALL PENETRATE THROUGH AT LEAST 3/4 OF THE THICKNESS OF THE LAST INDIVIDUAL PIECE. THE NAILS SHALL BE DRIVEN FROM EITHER FACE OF THE BUILT-UP MEMBER ALONG THE LENGTH.

STRUCTURAL STEEL

- THE DESIGN AND CONSTRUCTION OF STRUCTURAL STEEL IS TO CONFORM TO THE REQUIREMENTS OF THE FOLLOWING STANDARDS (INCLUDING LATEST REVISIONS):
 - GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL CAN/CSA G40.21-92
 - STRUCTURAL QUALITY STEELS CAN/CSA-G40.20/G40.21-92
 - LIMIT STATES DESIGN OF STEEL STRUCTURES CAN3-S16.1-94
 - CERTIFICATION OF COMPANIES FOR FUSION WELDING OF STEEL STRUCTURES CSA-W47.1-92ODE STILECTST
 - ELECTRODE STANDARDS: CSA-W48.1 TO CSA-W48.7
 - WELDED STEEL CONSTRUCTION (METAL ARC WELDING) CSA-W59-M1993
- STEEL STRENGTHS SHALL BE AS FOLLOWS:
 - STRUCTURAL STEEL GRADE G40.21M 350W, Fy = 345 MPa FOR W SHAPES
 - HSS GRADE G40.21M 350W, CLASS H, Fy = 350 MPa
 - BOLTS A325/A325M, ANCHOR BOLTS A307/A307M U/N
- PROVIDE MINIMUM 4"x4"x1/4" END BEARING PLATE @ TOP & BOTTOM OF ALL STEEL POSTS. SECURE ALL POSTS TO BEAMS TO PREVENT LATERAL DISPLACEMENT. WELD OR BOLT STEEL POSTS TO STEEL BEAMS. BOLTS SPACED @ 6" O.C. MAX.
- ALL SHOP CONNECTIONS SHALL BE WELDED. ALL FIELD CONNECTIONS SHALL BE WELDED OR BOLTED. USING HIGH TENSILE BOLTS BEARING TYPE. CONNECTION SHALL BE C.I.S.C. DOUBLE ANGLE BEAM CONNECTIONS FOR A325 BOLTS & ETOXX FILLET WELDS. MINIMUM SIZE OF BOLTS 3/4" (20 mm) DIA.
- SHOP PAINT SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE ALL TEMPORARY BRACING DURING CONSTRUCTION.
- MIN. COVER TO REINFORCING BARS SHALL BE AS FOLLOWS:

FOOTINGS: 15mm u/n
FOUNDATION WALLS: 40mm u/n
- AIR ENTRAINED CONCRETE WITH 5% TO 7% AIR CONTENT SHALL BE USED FOR ALL WORK.
- DETAIL BEND, SUPPORT AND FLARE REINFORCING STEEL TO CONFORM WITH R.S.I.O. MANUAL OF STANDARD PRACTICE.
- PROVIDE 36 BAR-DIAMETER LAP SPLICES FOR ALL REINFORCING STEEL UNLESS OTHERWISE NOTED ON DRAWINGS.
- WHERE THE FOUNDATION WALLS DO NOT CONFORM TO THE REQUIREMENTS OF O.B.C. 2024, SECTION 9.19.4., THE CONCRETE FOUNDATION WALLS SHALL BE REINFORCED IN TWO (2) DIRECTIONS (VERTICALLY & HORIZONTALLY) USING 15M BARS SPACED AT NO MORE THAN 16" (400mm) O.C. WHERE THE WALLS ARE TO BE REINFORCED, DOWELS ARE REQUIRED FROM THE FOOTING TO THE WALLS USING THE SAME SIZE OF REINFORCING AND AT EQUAL SPACING THE VERTICAL WALL REINFORCING. COORDINATE WITH GRADING PLAN.

POSTS (TO W/S OF LINTEL OR BEAM)

NOTE: ALL POSTS ARE P1 UNLESS NOTED OTHERWISE
P1 = RESERVED

WALL FOOTINGS

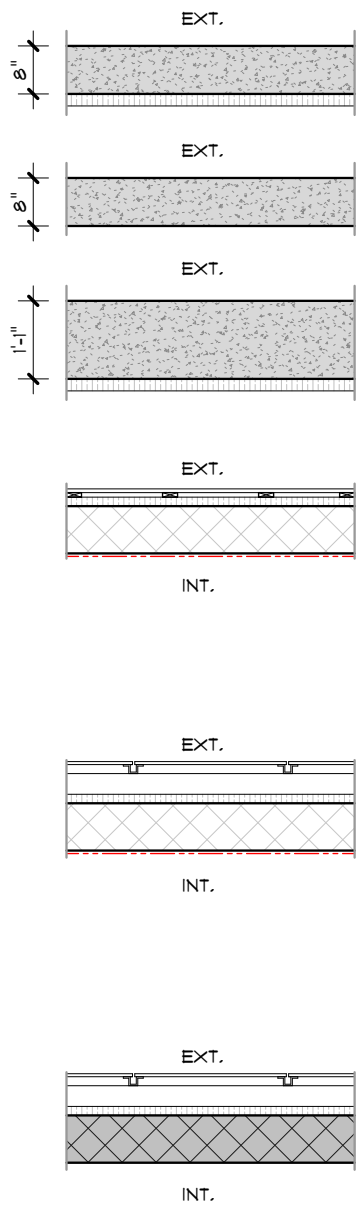
NOTE: ALL FOOTINGS TO BE WF3 UNLESS NOTED OTHERWISE. UNLESS SOIL CONDITIONS REQUIRE LARGER FOOTINGS, TO BE CONFIRMED ON SITE BY GEOTECHNICAL ENGINEER.
WF1 = 28" WIDE X 12" DEEP C/W 3-15M EQ. 8P. BOT. LONGI. & 15M @ 16" o.c. TRANSV.
WF2 = 20" WIDE X 18" DEEP C/W 2-15M EQ. 8P. BOT. LONGI. & 15M @ 16" o.c. TRANSV. EPOXY 6" INTO EX. FTG's
WF3 = 24" WIDE X 12" DEEP C/W 2-15M EQ. 8P. BOT. LONGI. & 15M @ 16" o.c. TRANSV.

PAD FOOTING

P1 = RESERVED

MASONRY LINTELS

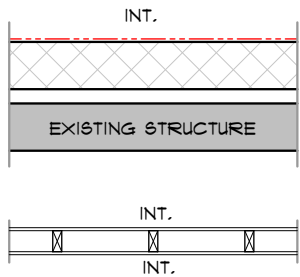
ML1 = SEE STRUCTURAL FOR DETAILS
ML2 = SEE STRUCTURAL FOR DETAILS



EXTERIOR WALL ASSEMBLIES

NOTE:

- REPLACE 1/2" GYPSUM BOARD WITH 1/2" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
 - AT ALL WALL ENDS/INTERSECTIONS/CORNERS/INTERSECTIONS /OPENINGS/POINTS LOADS PROVIDE 2-15M VERTICAL.
- W1 - FOUNDATION WALL**
FARGING TO 12" BELOW GRADE
8" CONCRETE BLOCK REINFORCED FOUNDATION WALL C/W REBAR (SEE STRUCTURAL)
R10 (2") RIGID INSULATION
- W2 - FOUNDATION WALL**
8" CONCRETE BLOCK REINFORCED FOUNDATION WALL C/W REBAR (SEE STRUCTURAL)
R10 (2") RIGID INSULATION
- W3 - FOUNDATION WALL**
FARGING TO 12" BELOW GRADE
13" CONCRETE BLOCK REINFORCED FOUNDATION WALL C/W REBAR (SEE STRUCTURAL)
R10 (2") RIGID INSULATION
- W4 - EXTERIOR SIDING**
PRE-FINISHED METAL SIDING (REFER TO ELEVATIONS FOR TYPE & ORIENTATION, IS HORIZONTAL OR VERTICAL, SHAKE) (COLOUR & FINISH TO BE APPROVED BY DESIGNER) (INSTALLED AS PER MANUFACTURER INSTRUCTIONS)
1"x3 STRAPPING @ 16" O.C. MAX. (ORIENTATION TO SUIT, REFER TO ELEVATIONS, STAGGERED & SLOPED TO ALLOW DRAINAGE WHERE STRAPPING IS HORIZONTAL)
1-1/2" HALO EXTERRA CONTINUOUS INSULATION, TAPE ALL JOINTS
8" CONCRETE BLOCK
VAPOUR RETARDANT PAINT FINISH -BLUESKIN -1"x3" STRAPPING
- W5 - METAL PANEL**
ALUCOBOND CLADDING (REFER TO ELEVATIONS FOR TYPE & ORIENTATION, IS HORIZONTAL, VERTICAL) (COLOUR & FINISH TO BE APPROVED BY DESIGNER) (INSTALLED AS PER MANUFACTURER INSTRUCTIONS)
ALUCOBOND FACE FASTENED JOINT RAIL
2x4 WOOD STUD STRAPPING @ 16" O.C. MAX. (ORIENTATION TO SUIT, REFER TO ELEVATIONS, STAGGERED & SLOPED TO ALLOW DRAINAGE WHERE STRAPPING IS HORIZONTAL)
1-1/2" HALO EXTERRA CONTINUOUS INSULATION (OR APPROVED EQUAL), TAPE ALL JOINTS
8" CONCRETE BLOCK
VAPOUR RETARDANT PAINT FINISH -BLUESKIN -1"x3" STRAPPING
- W6 - METAL PANEL (EXISTING WALL)**
ALUCOBOND CLADDING (REFER TO ELEVATIONS FOR TYPE & ORIENTATION, IS HORIZONTAL, VERTICAL) (COLOUR & FINISH TO BE APPROVED BY DESIGNER) (INSTALLED AS PER MANUFACTURER INSTRUCTIONS)
ALUCOBOND FACE FASTENED JOINT RAIL
2x4 WOOD STUD STRAPPING @ 16" O.C. MAX. (ORIENTATION TO SUIT, REFER TO ELEVATIONS, STAGGERED & SLOPED TO ALLOW DRAINAGE WHERE STRAPPING IS HORIZONTAL)
1-1/2" HALO EXTERRA CONTINUOUS INSULATION (OR APPROVED EQUAL), TAPE ALL JOINTS
EXISTING CONCRETE BLOCK WALL



INTERIOR WALL ASSEMBLIES

NOTE:

- REPLACE 1/2" GYPSUM BOARD WITH 1/2" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
 - ALL INTERIOR WALLS ARE P1 UNLESS NOTED OTHERWISE.
- P1 - INTERIOR LINER WALL**
VAPOUR RETARDANT PAINT FINISH
8" CONCRETE BLOCK
2 3/8" AIR SPACE
EXISTING STRUCTURE
- P2 - INTERIOR PARTITION**
1/2" GYPSUM BOARD FOR PAINT FINISH
2"x4" STUD WALL @ 16" O.C.
1/2" GYPSUM BOARD FOR PAINT FINISH

FLOOR ASSEMBLIES

NOTE:

- REPLACE 1/2" GYPSUM BOARD WITH 1/2" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
- 2x6 & 2x8 JOISTS BASED ON O.B.C. 9FAN TABLE 8FPUCE LUMBER No 1 OR BETTER.
- PROVIDE 5/8" PLYWOOD UNDERLAY WITH 1/8" GAPS WHERE CERAMIC TILE IS TO BE INSTALLED. OBC. 9.30.6.3.(B)
- LIVING ROOM, DINING ROOM, KITCHEN, CORRIDORS, BATHROOMS, BEDROOMS, ENTRANCE VESTIBULES, STAIRS & FAMILY ROOMS SHALL BE PROVIDED WITH FINISHED FLOORING AS PER SECTION 9.30. OF THE CURRENT O.B.C.

F1 - NEW SLAB ON GRADE CONSTRUCTION

FLOOR FINISH (SEE PLANS)
6" REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL)
VAPOUR BARRIER
4" RIGID INSULATION
1" COMPACTED SAND
MIN. 6" GRANULAR FILL TO O.B.C. 2024 9.16.2.1
UNDISTURBED SOIL OR COMPACTED FILL

ROOF ASSEMBLIES

NOTE:

- ICE AND WATER SHIELD 60" UP EAVES AND 30" EITHER SIDE OF VALLEYS. UNLESS OTHERWISE NOTED. PER OBC 9.26.5

R1 - ROOF ASSEMBLY

STANDING SEAM METAL ROOF
ICE & WATER SHIELD EAVE & VALLEY PROTECTION
2" RIGID INSULATION
STEEL DECK (REFER TO STRUCTURAL)
PRE-ENGINEERED OUSJ

EXTERIOR DOOR SCHEDULE

NOTE: CONFIRM ALL R.O.'s WITH MANUFACTURER

NO.	SIZE		TYPE	METAL DOOR	PRESSED STEEL FRAME	PAINT FINISH	HINGES	LOCK SET	KICK PLATE	PRIVACY SET	JANITOR SET	DOOR CLOSURE	ELEC. OPENER	WALL STOP/FLR STOP	CONT. OPAQUE STRIP	REMARKS
	WIDTH	HEIGHT														
1	14'-0"	12'-0"	OH	●	●											REMARKS
2	8'-0"	8'-0"	RU	●	●											
3	3'-0"	6'-8"	●	●	●		●	●	●		●	●	●	●	●	
4	3'-0"	6'-8"	●	●	●		●	●	●		●	●	●	●	●	
5	3'-0"	6'-8"	●	●	●		●	●	●		●	●	●	●	●	

INTERIOR DOOR SCHEDULE

NOTE: CONFIRM ALL R.O.'s WITH MANUFACTURER

NO.	SIZE		TYPE	WOOD DOOR	PRESSED STEEL FRAME	PAINT FINISH	HINGES	LOCK SET	KICK PLATE	PRIVACY SET	JANITOR SET	DOOR CLOSURE	ELEC. OPENER	WALL STOP/FLR STOP	CONT. OPAQUE STRIP	REMARKS
	WIDTH	HEIGHT														
6	3'-0"	6'-8"	A	●	●	●	●	●	●		●	●	●	●	●	INTERIOR DOOR
7	3'-0"	6'-8"	A	●	●	●	●	●	●		●	●	●	●	●	INTERIOR DOOR

EXTERIOR DOOR & WINDOW SCHEDULE

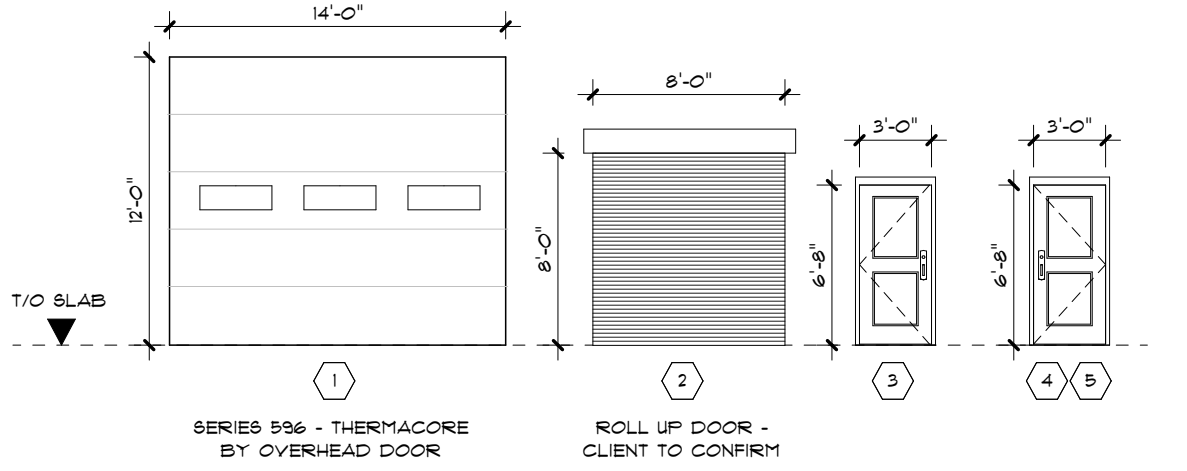
SCALE: N.T.S.

DOOR NOTES

- ALL EXTERIOR DOORS & FRAMES TO BE INSULATED.
- ALL WINDOWS IN EXTERIOR DOORS TO BE CLEAR, DOUBLE GLAZING, THERMALLY BROKEN, LOW 'E' ARGON & GLAZING AS PER O.B.C.
- DOOR SWING AS PER PLANS.
- COORDINATE HARDWARE REQUIREMENTS WITH BUILDER.
- WEATHER-STRIP FULL PERIMETER OF EXTERIOR DOORS
- PROVIDE SELF CLOSER ON GARAGE DOORS

DOOR ELEVATIONS

SCALE: 1/8" = 1'-0"



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LEGEND:

- ① EXTERIOR DOOR & WINDOW TAG (SEE SCHEDULE)
- ① INTERIOR DOOR TAG (SEE SCHEDULE)
- W1 EXTERIOR WALL TYPE (SEE A.O.a)
- P1 INTERIOR PARTITION WALL TYPE (SEE A.O.a)

LEGEND:

- F1 FLOOR TYPE (SEE A.O.a)
- R1 ROOF TYPE (SEE A.O.a)
- P1 POST TYPE (SEE A.O.a)
- L1 LINTEL TYPE (SEE A.O.a)
- F1 PAD FOOTING TYPE (SEE A.O.a)
- WF1 WALL FOOTING TYPE (SEE A.O.a)
- ① CONSTRUCTION NOTE

BELL + ASSOCIATES ARCHITECTURE

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VERSION NO.

2

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REVISIONS

NO	ITEM	DATE
1	ISSUED FOR 25%	31/10/2023
2	ISSUED FOR 50%	01/12/2023
3	ISSUED FOR FINAL REVIEW	15/05/2024
4	ISSUED FOR PERMIT	05/19/2026

PROJECT

240 COUNTY ROAD 4,
BATH, ON KOH IGO

CLIENT

LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION

DRAWING

GENERAL NOTES

SCALE AS INDICATED

DRAWN BY ETY

DATE SEPT. 12, 2023

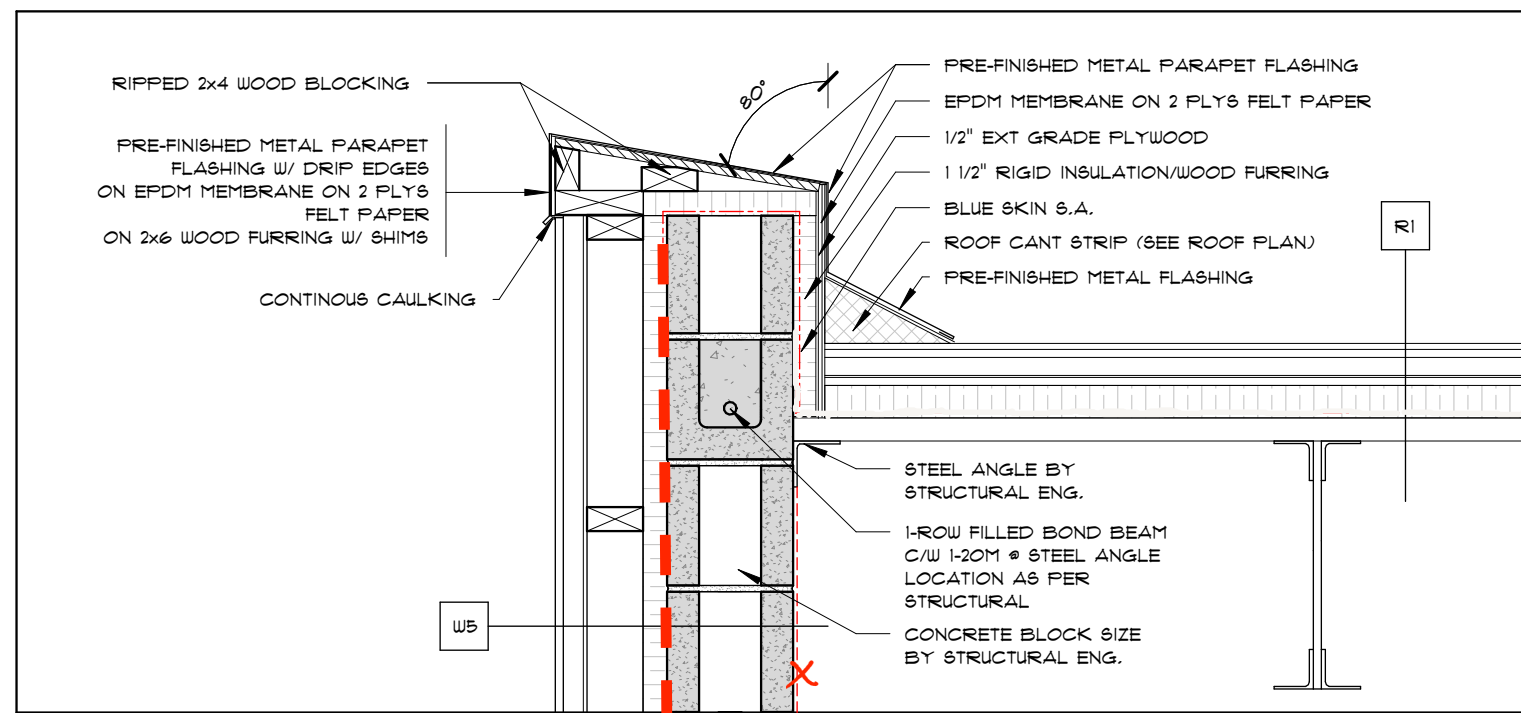
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APPRD BY JCB

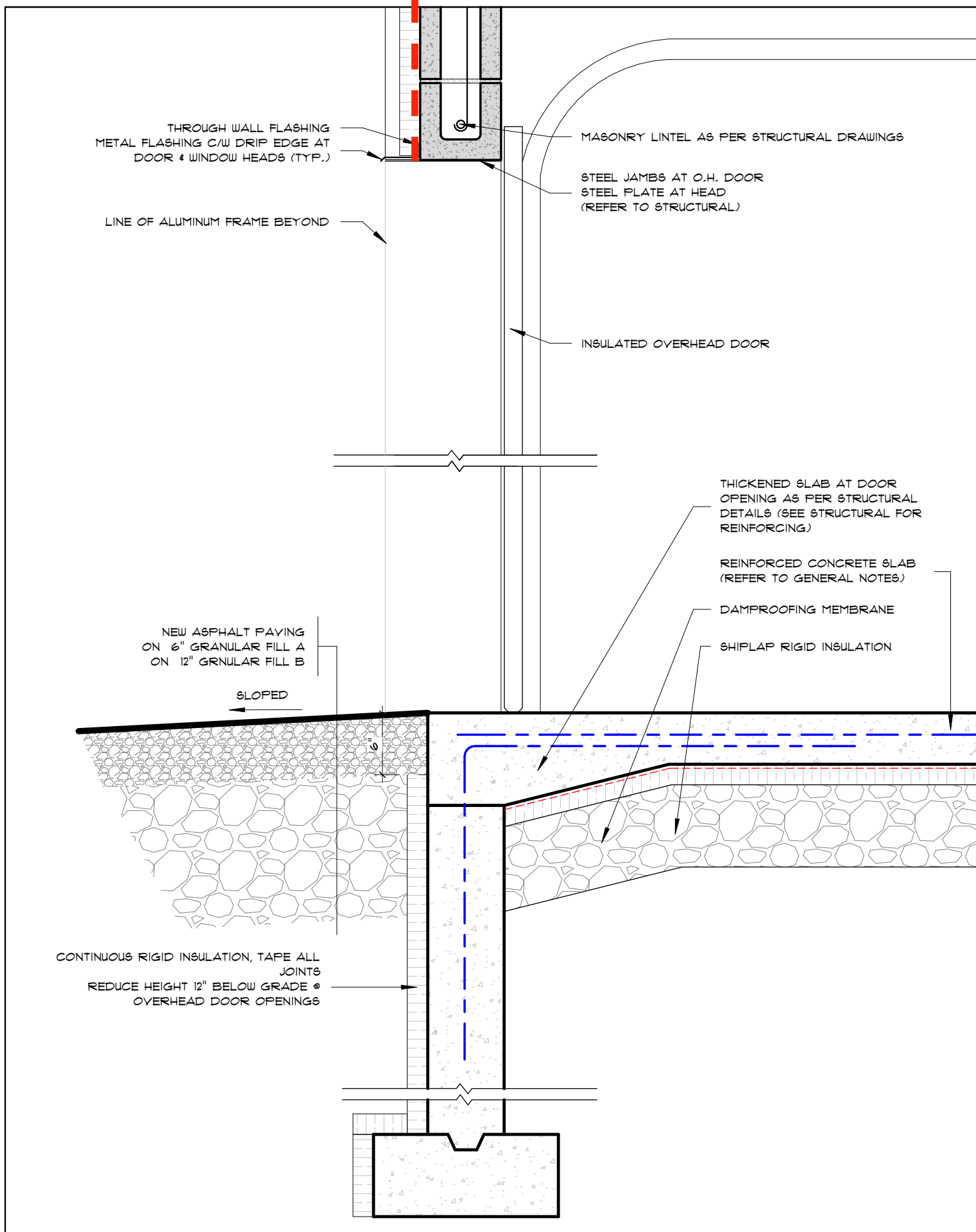
PROJECT NO. 223-O26

SHEET NO.

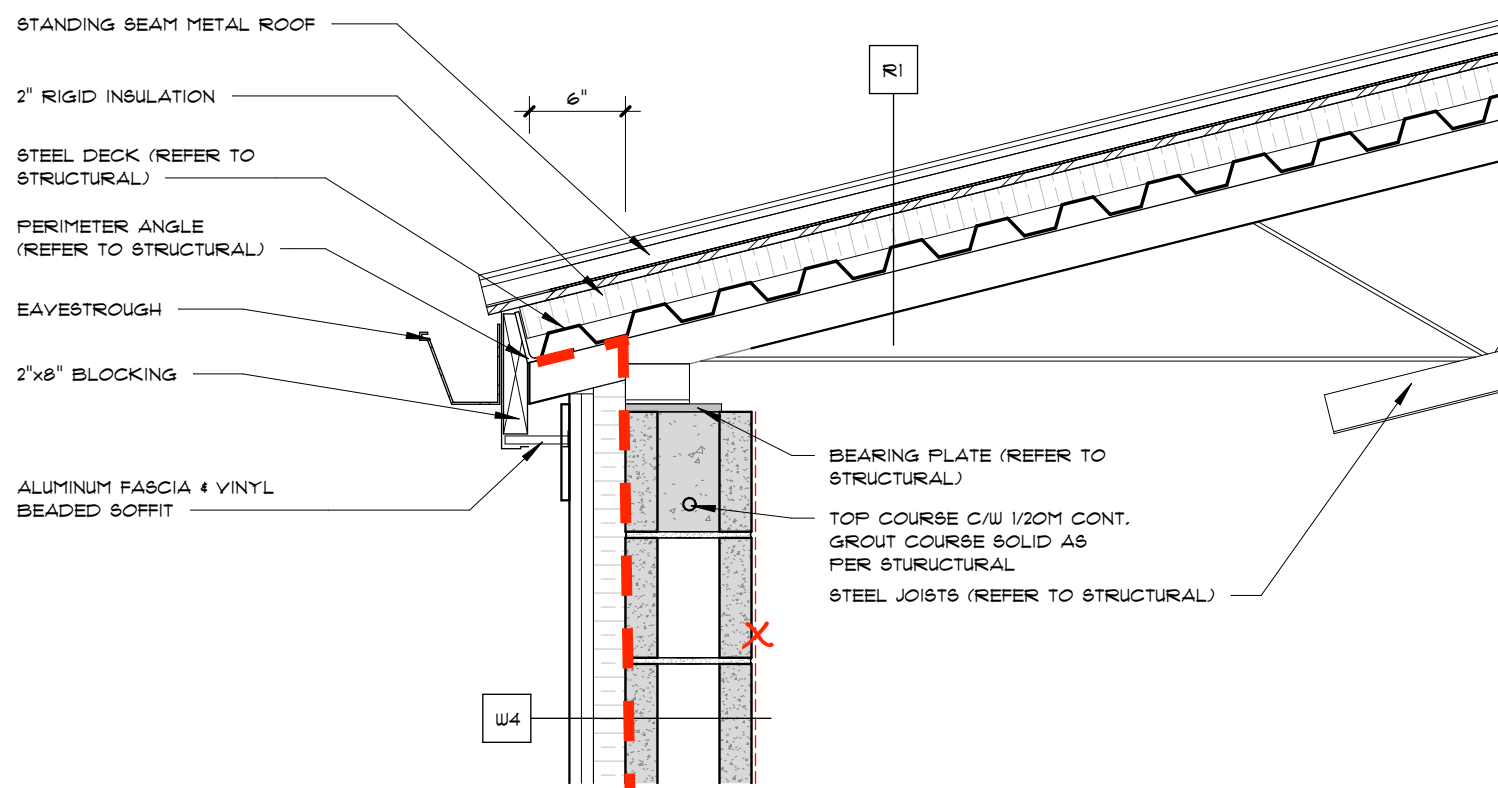
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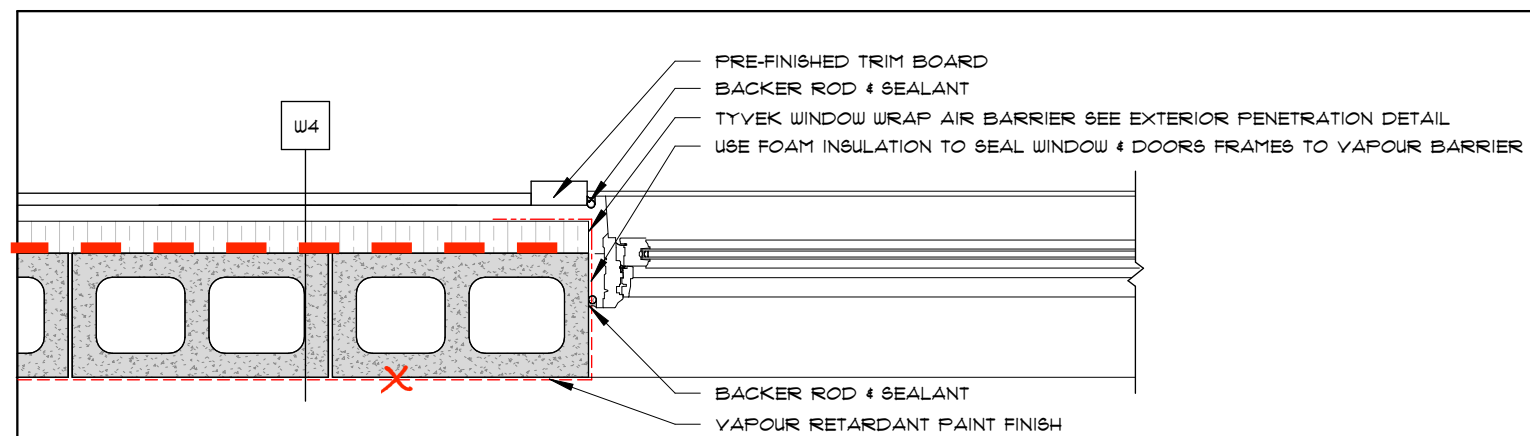
1 CMU SECTION DETAIL • PARAPET
SCALE: 1" = 1'-0"



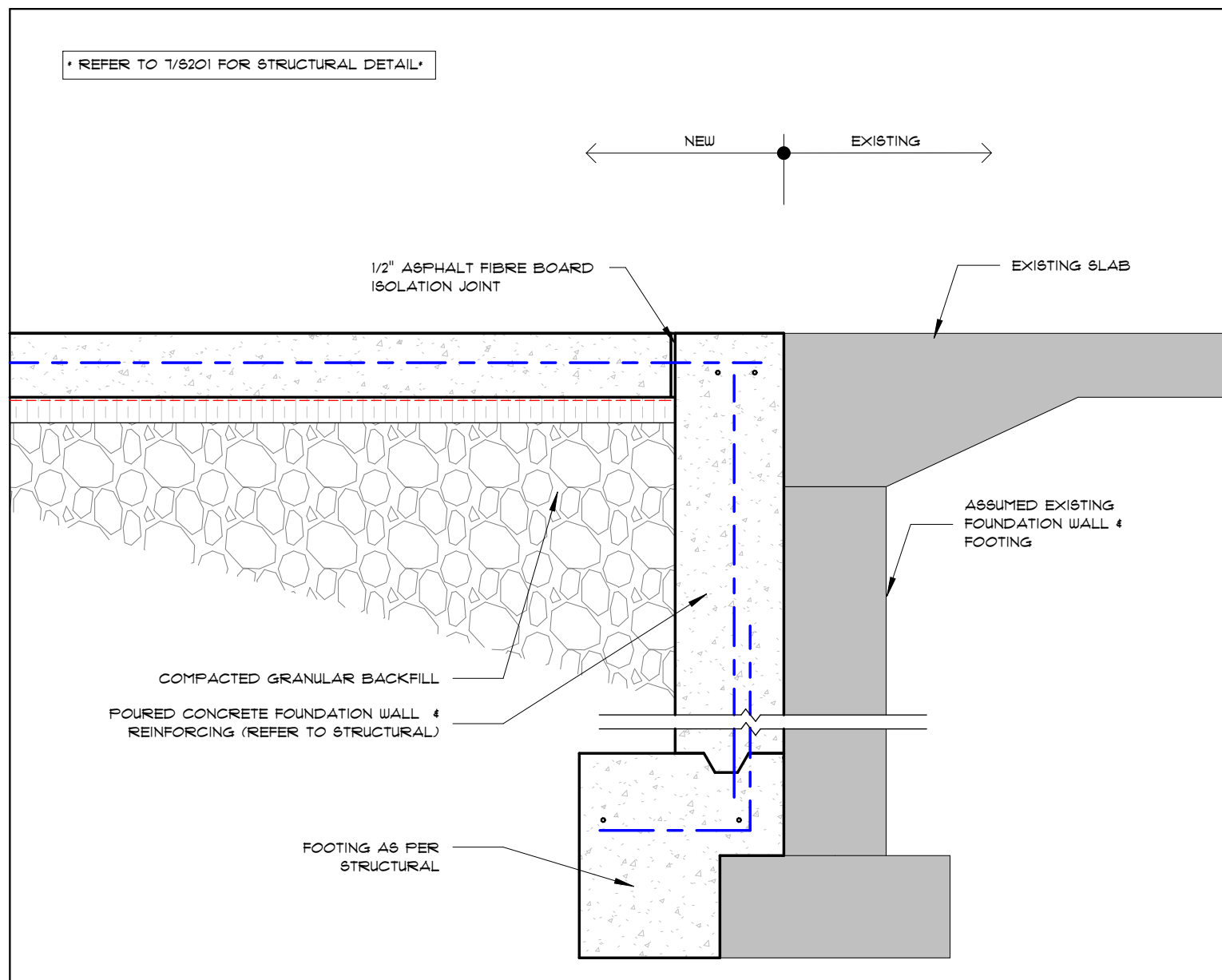
2 SECTION DETAIL • GARAGE BAY OVERHEAD DOOR
SCALE: 1" = 1'-0"



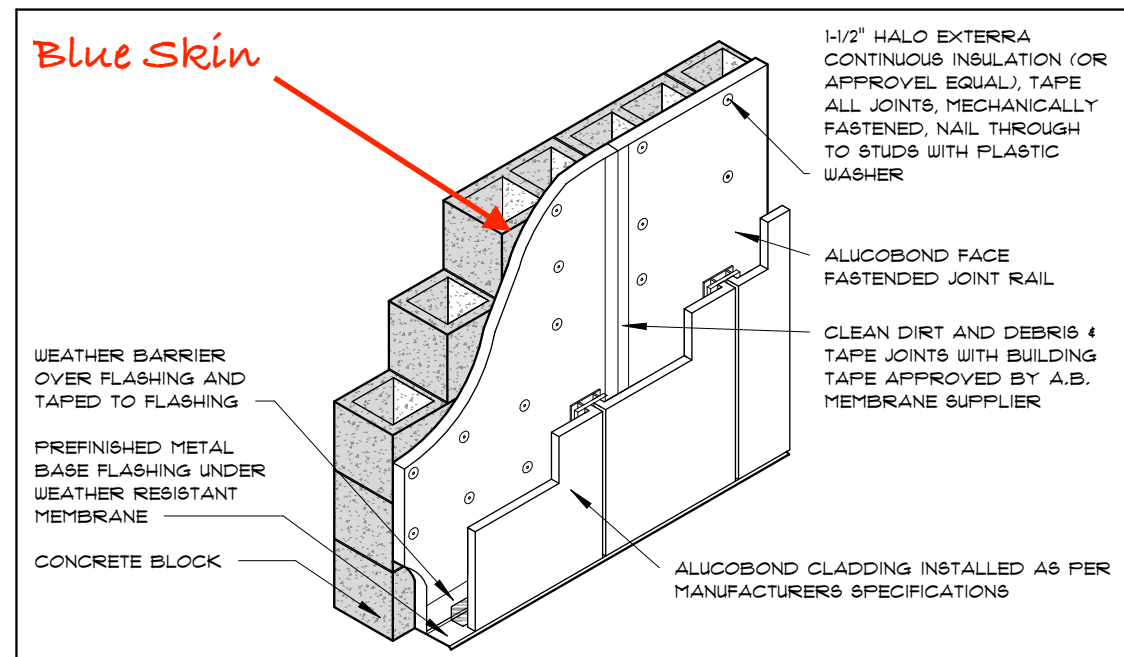
3 SECTION DETAIL • EAVE (CMU WALL CONSTRUCTION)
SCALE: 1" = 1'-0"



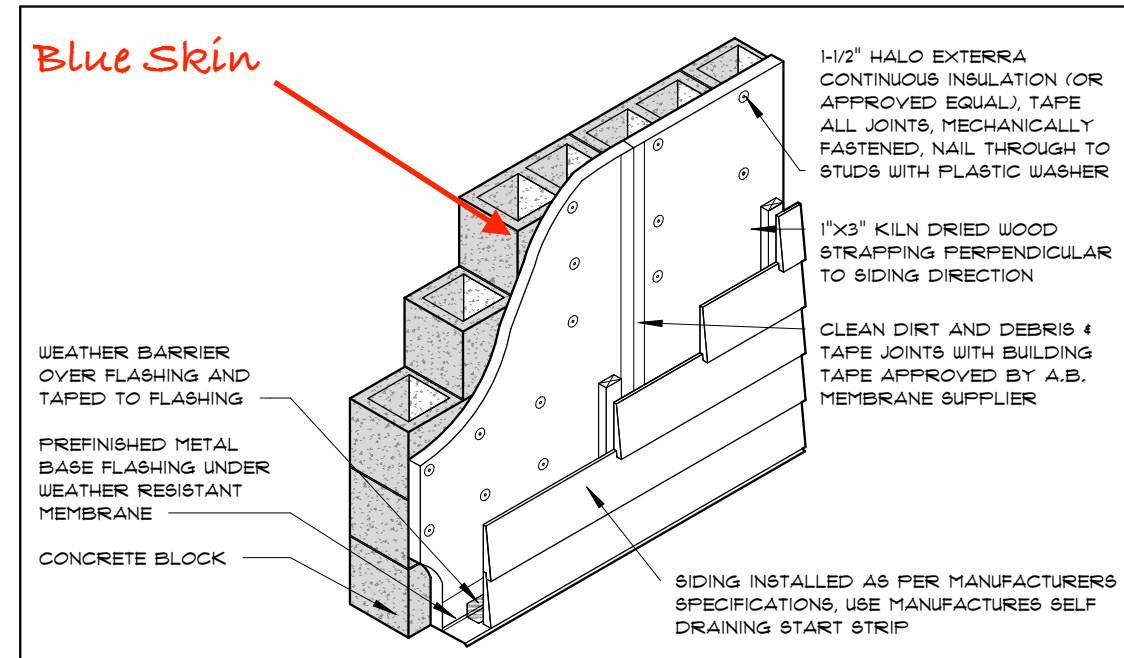
4 SECTION DETAIL • WINDOW JAMB SIDING CMU
SCALE: 1" = 1'-0"



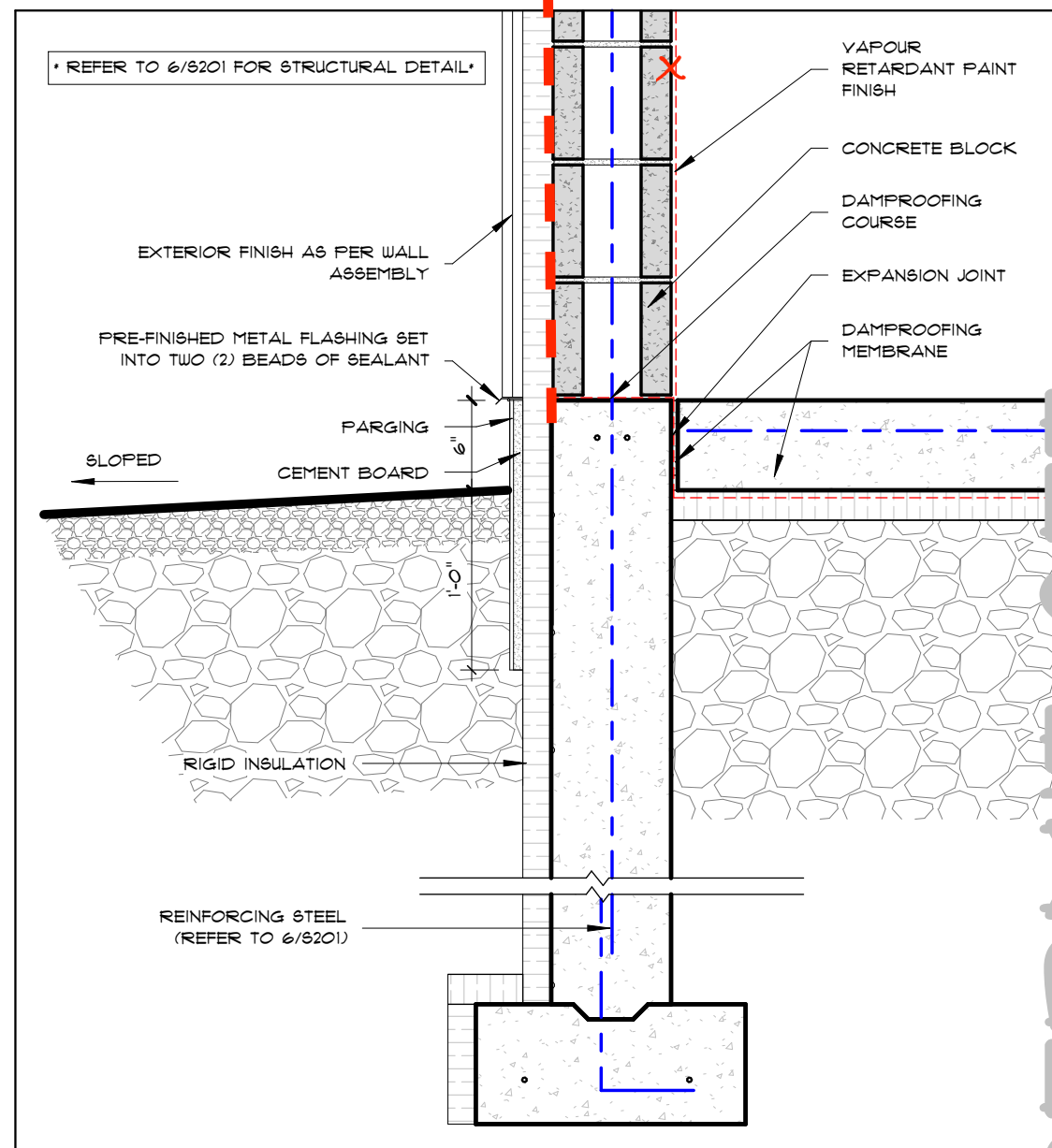
5 SECTION DETAIL • NEW TO EXISTING FOUNDATION
SCALE: 1" = 1'-0"



6 ALUCOBOND CLADDING APPLICATION
SCALE: N.T.S.



7 SIDING APPLICATION DETAIL
SCALE: N.T.S.



8 SECTION DETAIL • EXTERIOR FOUNDATION WALL
SCALE: 1" = 1'-0"

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L1 LINTEL TYPE (SEE A.O.B.)
F1 PAD FOOTING TYPE (SEE A.O.B.)
W1 WALL FOOTING TYPE (SEE A.O.B.)
1 CONSTRUCTION NOTE

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+ ASSOCIATES
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VERSION NO.

2

SEAL:

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REVISIONS

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2	ISSUED FOR 50%	01/12/2023
3	ISSUED FOR FINAL REVIEW	15/05/2024
4	ISSUED FOR PERMIT	05/13/2026

PROJECT

240 COUNTY ROAD 4,
BATH, ON KOH IGO

CLIENT

LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION

DRAWING

STANDARD DETAILS

SCALE AS INDICATED

DRAWN BY ETY

DATE SEPT. 12, 2023

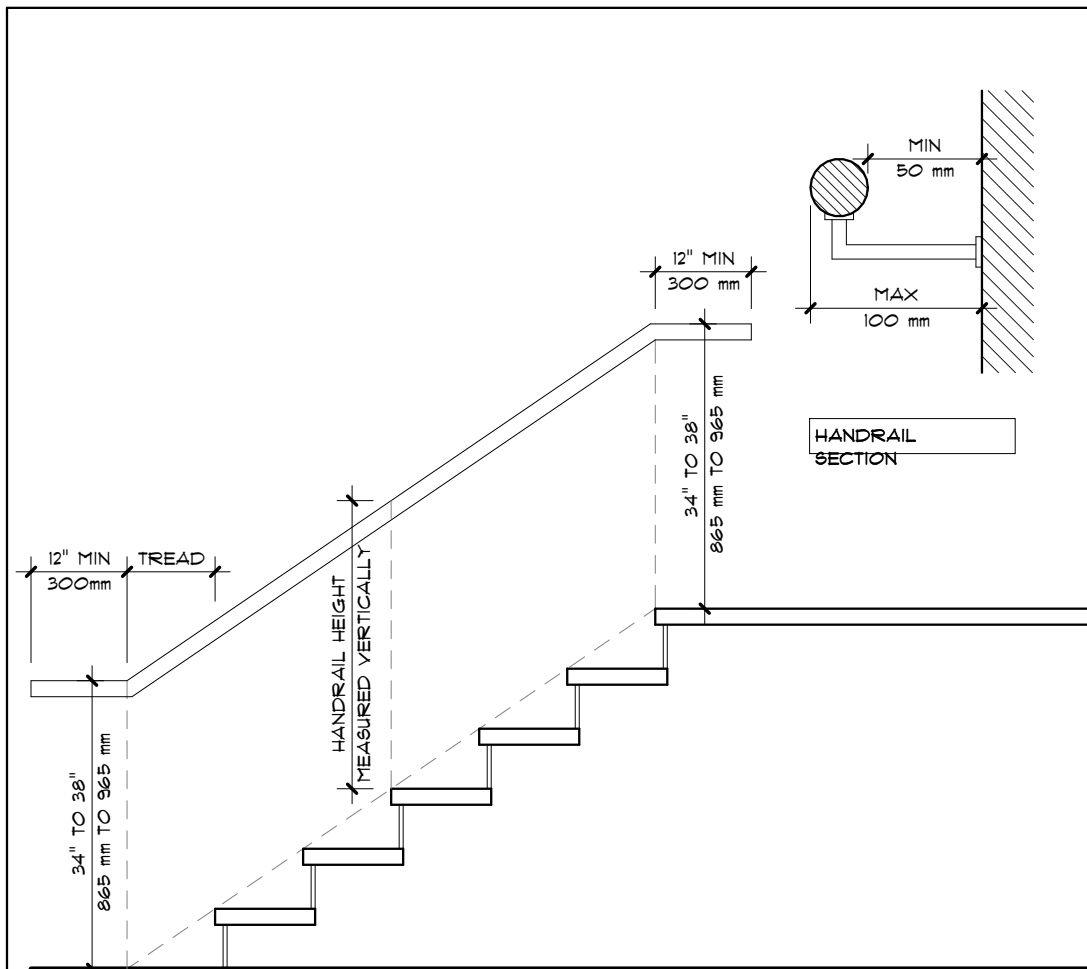
CHKD BY TJG

APPRD BY JCB

PROJECT NO. 223-056

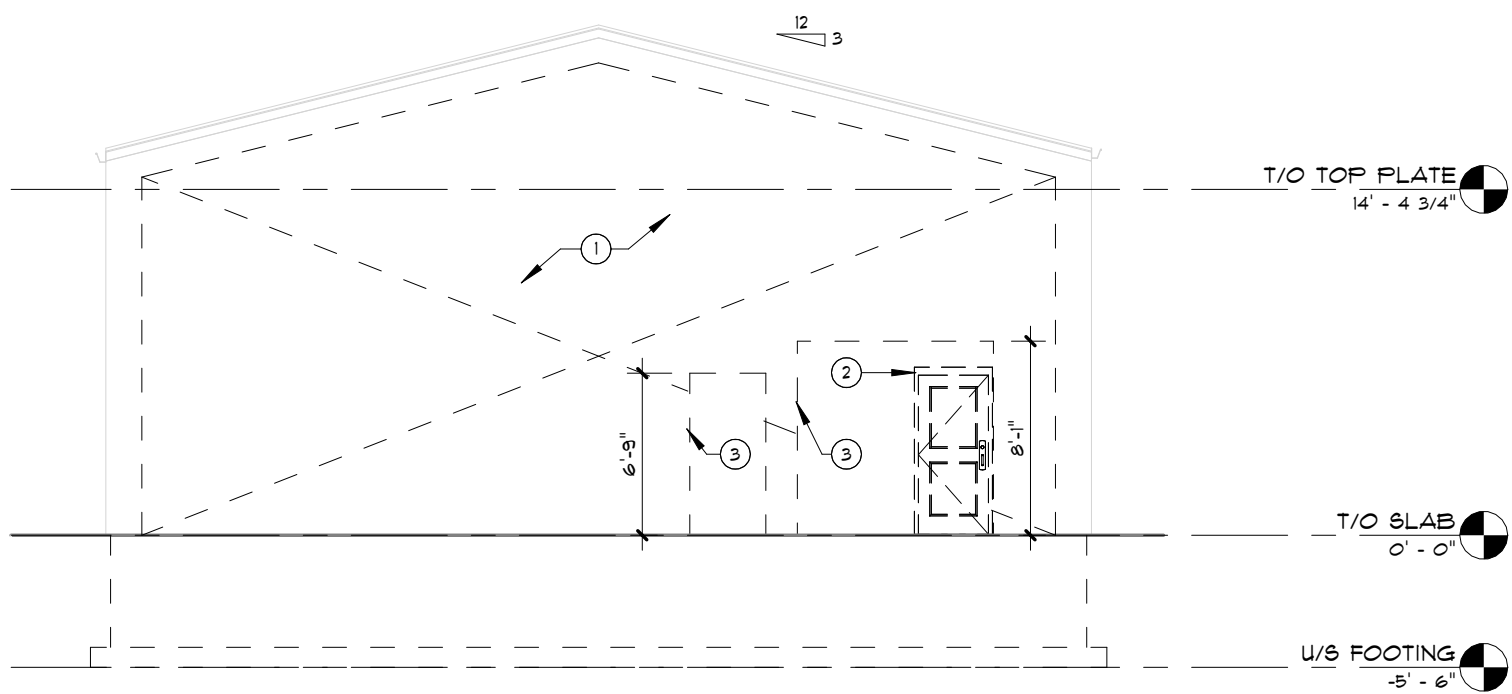
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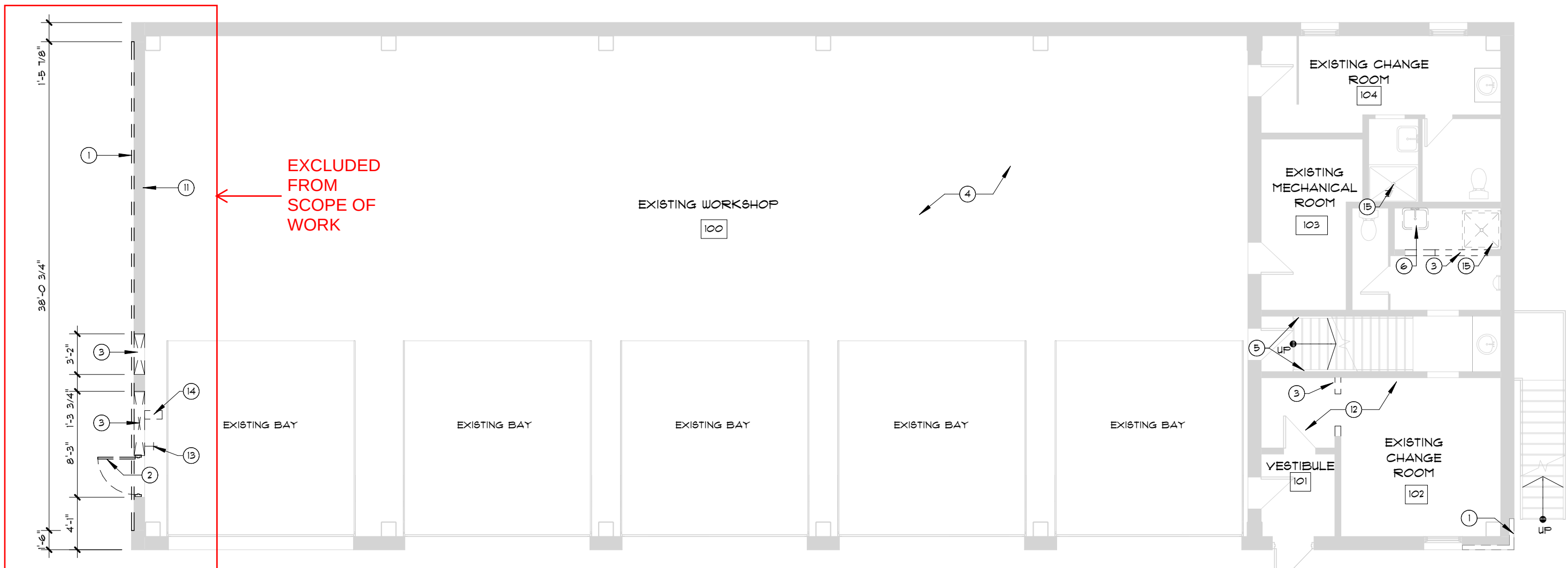


- NOTES:
- HANDRAILS SERVING STRAIGHT STAIRS (NOT IN DWELLING UNITS) THAT ARE < 1100 mm WIDE ARE ALLOWED TO HAVE A HANDRAIL ON ONLY 1 SIDE OF STAIR (9.8.1.1.)
 - HANDRAILS SERVING STRAIGHT STAIRS (NOT IN DWELLING UNITS) THAT ARE > 1100 mm WIDE ARE REQUIRED TO HAVE HANDRAILS ON 2 SIDES OF STAIR (9.8.1.1.)
 - AT LEAST ONE REQUIRED HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP, EXCEPT WHERE INTERRUPTED BY DOORWAYS, OR NEWEL POSTS AT CHANGES IN DIRECTIONS (9.8.1.2.)
 - AT LEAST ONE HANDRAIL REQUIRED FOR STAIR OR RAMP SHALL EXTEND HORIZONTALLY NOT LESS THAN 12" (300 mm) BEYOND THE TOP AND BOTTOM OF STAIR OR RAMP (9.8.1.3.(2))
 - THE HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE NOT LESS THAN 34" (865 mm) AND NOT MORE THAN 38" (965 mm) (9.8.1.4.(2))
 - A CLEARANCE OF NOT LESS THAN 2" (50 mm) SHALL BE PROVIDED BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT (9.8.1.5.(1))
 - HANDRAILS AND PROJECTIONS BELOW HANDRAILS, INCLUDING HANDRAIL SUPPORTS AND STAIR STRINGERS, SHALL NOT PROJECT MORE THAN 4" (100 mm) INTO THE REQUIRED WIDTH OF A STAIR OR RAMP (9.8.1.6.(1))

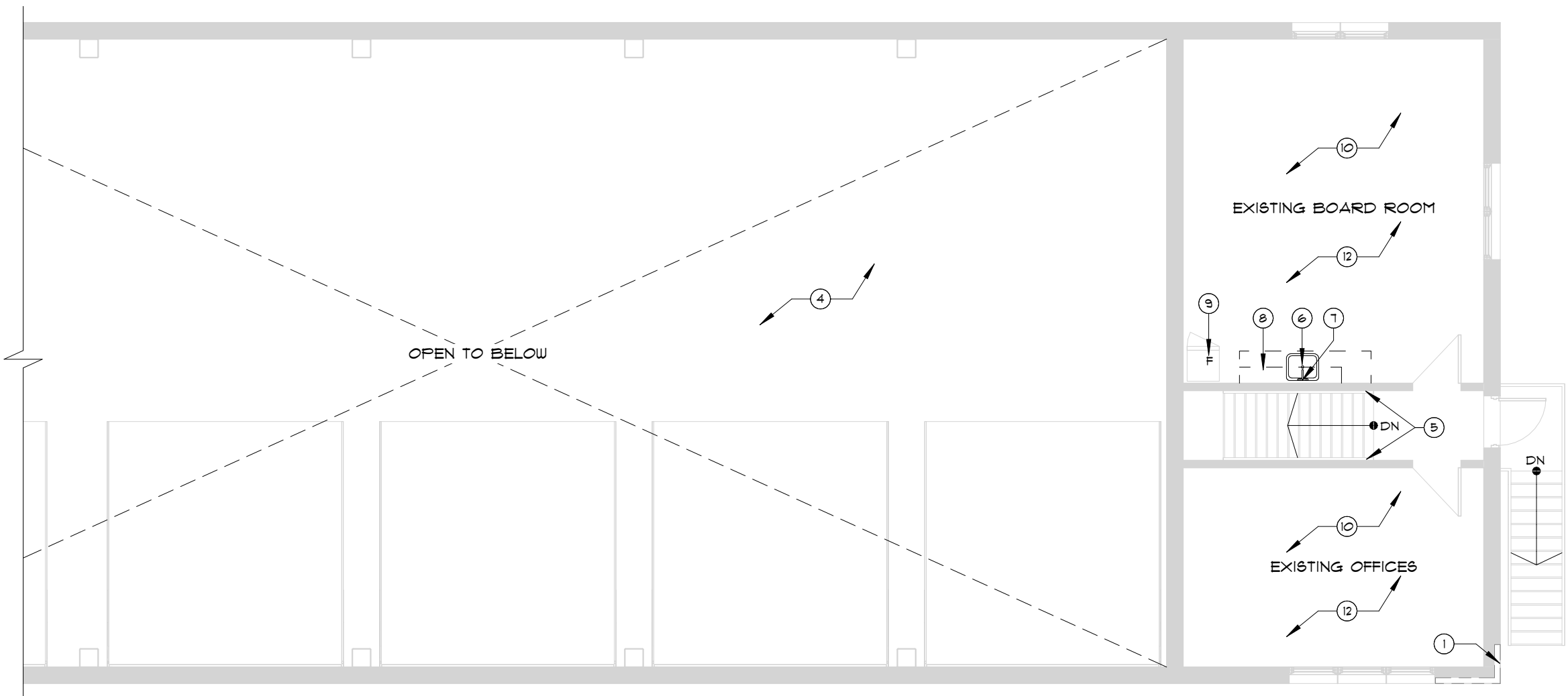
3 HANDRAIL DETAIL
D.1 SCALE: 1/2" = 1'-0"



2 LEFT ELEVATION - DEMOLITION
D.1 SCALE: 1/8" = 1'-0"



1 MAIN FLOOR - DEMOLITION PLAN
D.1 SCALE: 1/8" = 1'-0"



4 UPPER FLOOR - DEMOLITION PLAN
D.1 SCALE: 1/8" = 1'-0"

DEMOLITION NOTES LEGEND:		
NOTE: PATCH AND MAKE GOOD ALL AREAS AFFECTED BY DEMOLITION		
1 EXTERIOR CLADDING AND INSULATION TO BE REMOVED	8 REMOVE EXISTING MILLWORK UPPER AND LOWER CABINETS AND EXISTING COUNTERTOPS	
2 REMOVE EXISTING DOOR, FRAME AND ALL ASSOCIATED HARDWARE	9 EXISTING FRIDGE TO REMAIN	
3 DEMO/REMOVE PORTION OF EXISTING WALL. PROVIDE TEMPORARY SHORING AS REQUIRED UNTIL NEW SUPPORT IS IN PLACE	10 EXISTING FURNITURE TO REMAIN	
4 EXISTING TO REMAIN	11 PATCH AND MAKE GOOD ENTIRE WALL. PREP ENTIRE WEST WALL FOR PAINT.	
5 REPLACE OR REPAIR EXISTING HANDRAIL TO MEET OBC REQUIREMENTS LISTED IN DETAIL 3/D.1	12 PATCH AND MAKE GOOD ALL WALLS. PREP FOR PAINT.	
6 EXISTING SINK TO BE REMOVED	13 EXISTING HOSE BIB TO BE DISCONNECTED, CAPPED, AND RELOCATED	
7 CAP SUPPLY AND DRAIN PIPING IN CONCEALED LOCATION	14 EXISTING PRESSURE WASHER AND HOSE REEL TO BE DISCONNECTED AND RELOCATED	
	15 EXISTING SHOWER TO BE REMOVED. CAP SUPPLY AND DRAIN PIPING	

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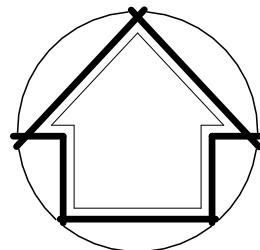
LEGEND:

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- W1 EXTERIOR WALL TYPE (SEE A.O.B.)
- PI INTERIOR PARTITION WALL TYPE (SEE A.O.B.)

LEGEND:

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- LI LINTEL TYPE (SEE A.O.B.)
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- W1 WALL FOOTING TYPE (SEE A.O.B.)
- 1 CONSTRUCTION NOTE

PROJECT NORTH:



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CLIENT

LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION

DRAWING

DEMOLITION PLANS

SCALE AS INDICATED

DRAWN BY ETY

DATE SEPT. 12, 2023

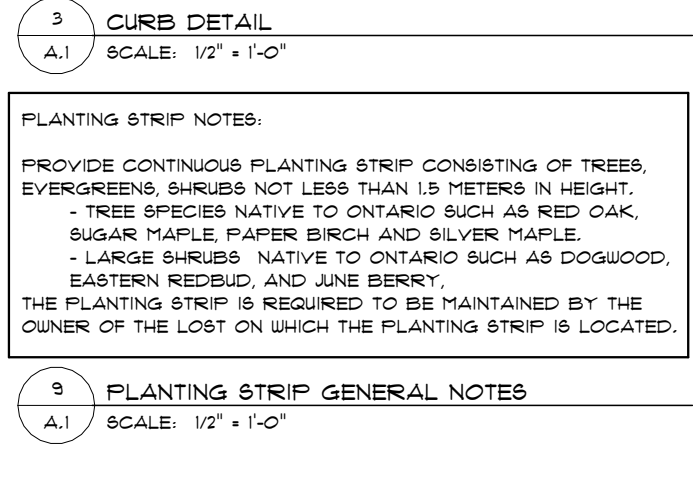
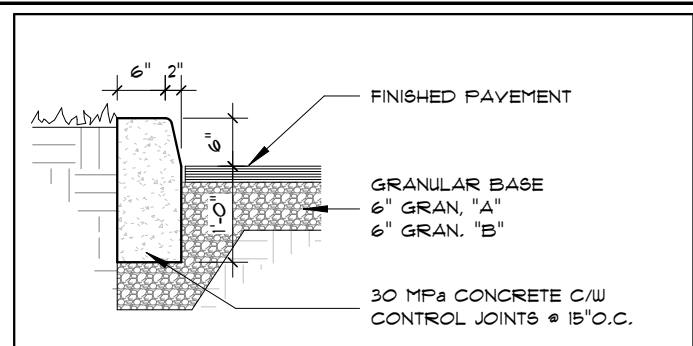
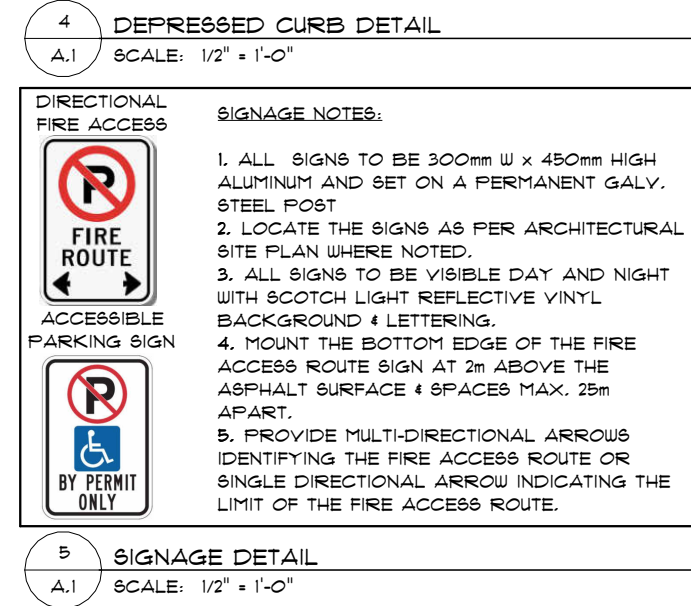
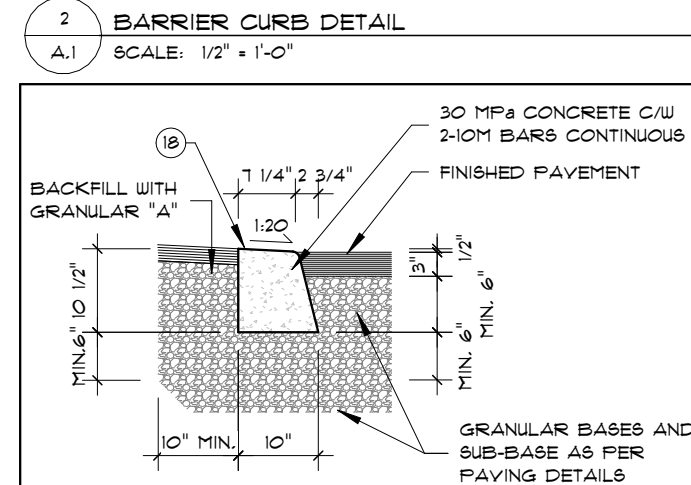
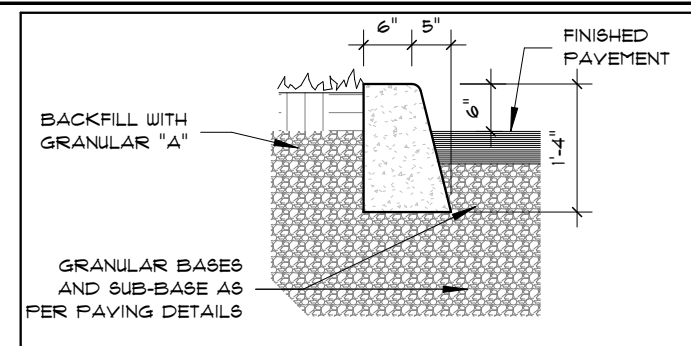
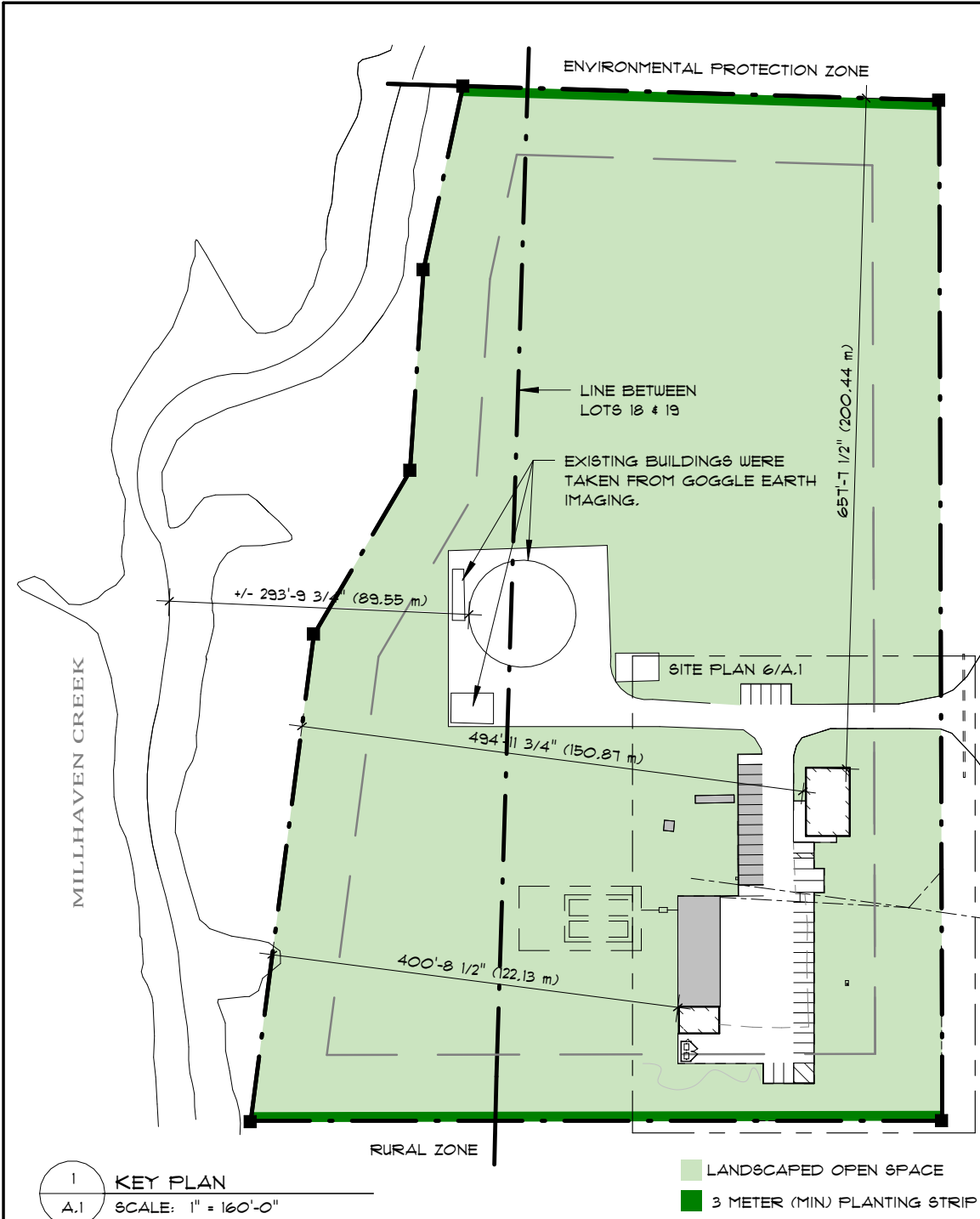
CHKD BY TJG

APPRD BY JCB

PROJECT NO. 223-056

SHEET NO.

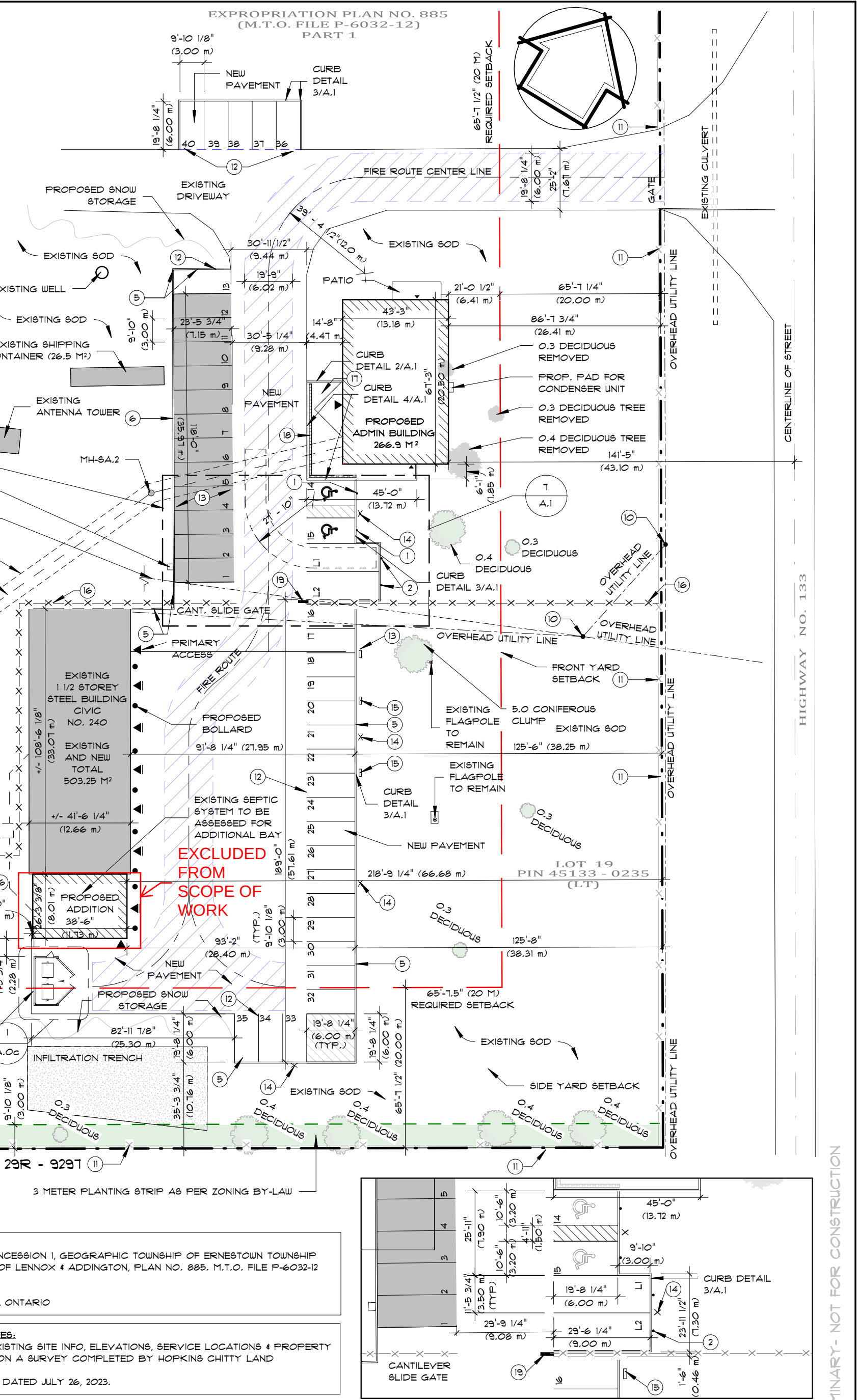
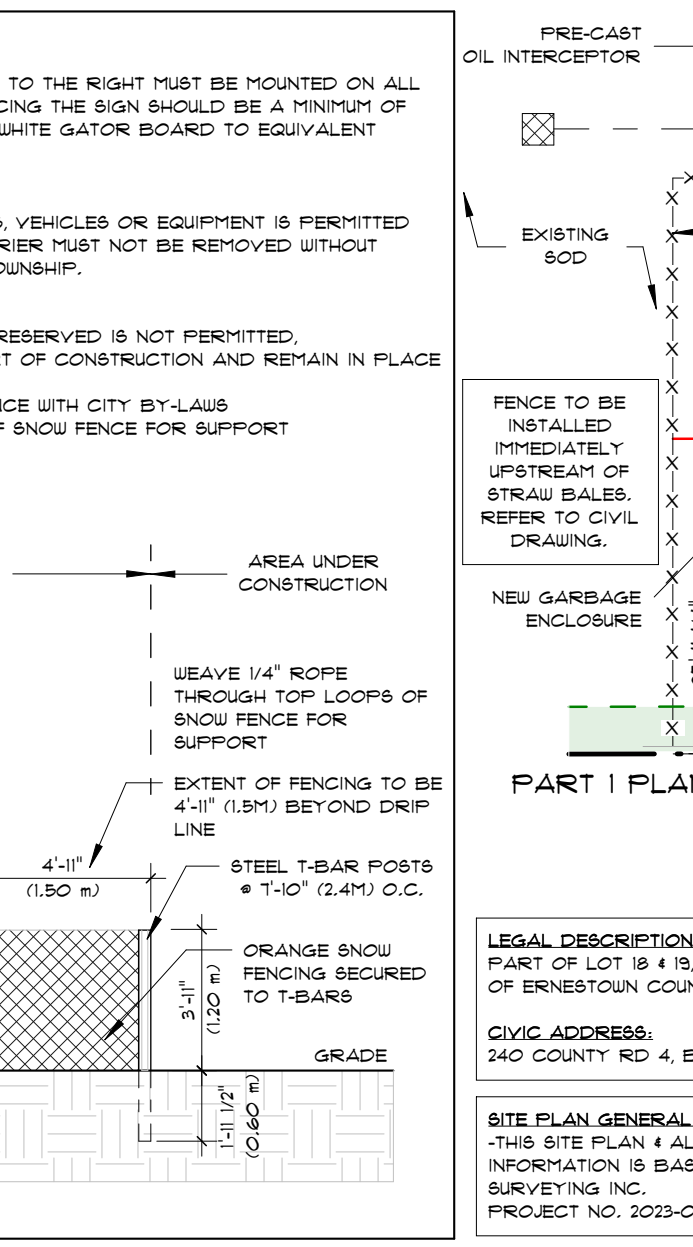
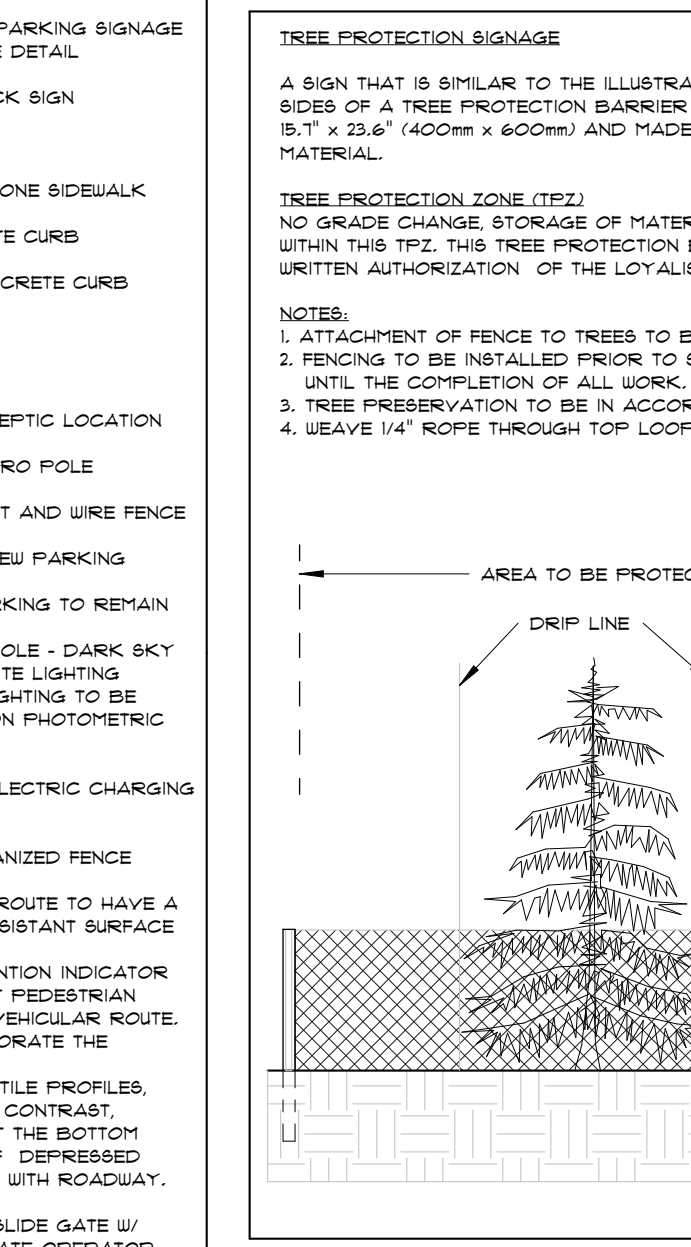
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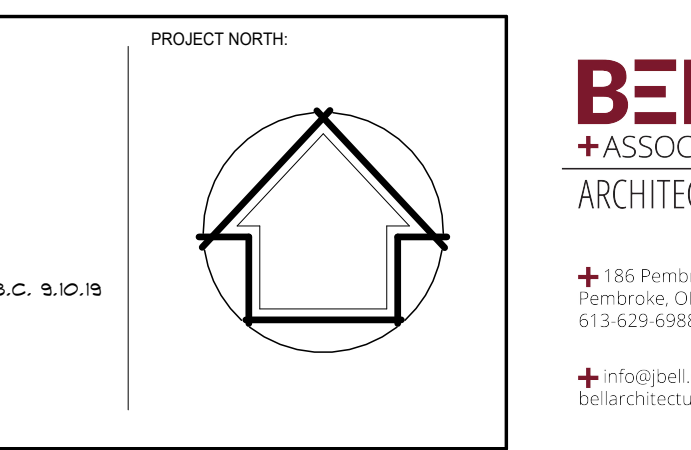
ZONING CHART		
ZONE: M3 & EP	REQUIRED	PROVIDED
LOT AREA (MIN):	0.8 HA	5.43 HA
TOTAL BUILDING AREA FOR ADMIN BLDG.		266.9 m ²
TOTAL BUILDING AREA FOR GARAGE BLDG.		503.3 m ²
LOT FRONTAGE (MIN):	60 M	304.81 M
FRONT YARD SETBACK (MIN):	20 M	26.41 M
EXTERIOR SIDE YARD (MIN):	20 M	N/A
INTERIOR NORTH SIDE YARD (MIN):	20 M	± 200.44 M
INTERIOR SOUTH SIDE YARD (MIN):	20 M	26.19 M
STREET CENTERLINE SETBACK	33 M	43.10 M
REAR YARD DEPTH (MIN):	20 M	± 122.13 M
LANDSCAPED OPEN SPACE (MIN):	10%	87.3%
LOT COVERAGE (MAX):	50%	3.6%
HARDSCAPE	/	/
NUMBER OF STANDARD PARKING SPACES - GARAGE - 503.3 m ² / 18.5 m ² = 27.2 (28 SPACES) - ADMIN - 266.9 m ² / 28 m ² = 9.5 (10 SPACES)	38	38
NUMBER OF BARRIER FREE PARKING SPACES	2	2
NUMBER OF LOADING SPACES	2	2
PARKING STALL & BARRIER FREE DIMENSIONS	3m x 6m/ 3.2m x 6m	3m x 6m/ 3.2m x 6m
LOADING SPACE DIMENSIONS (MINIMUM)	3.5m x 9m	3.5m x 9m

SYMBOL LEGEND	
	EXISTING BUILDING
	PROPOSED BUILDING/ADDITION
	PROPERTY LINE
	SITE SETBACKS
	BARRIER FREE PARKING SYMBOL PAINTED ON ASPHALT IN BLUE AND MARKED BY A INTERNATIONAL SYMBOL.
	BARRIER FREE TRANSFER SPACE PAINTED ON ASPHALT IN YELLOW
	EXISTING FENCE TO REMAIN
	PROPOSED FENCE (TYPE T.B.D. BY CLIENT)
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	PROPOSED BOLLARDS AT EACH SIDE OF GARAGE DOORS

LEGEND	
	ROOF TYPE (SEE A.O.B.)
	POST TYPE (SEE A.O.B.)
	LINTEL TYPE (SEE A.O.B.)
	PAD FOOTING TYPE (SEE A.O.B.)
	WALL FOOTING TYPE (SEE A.O.B.)
	SMOKE/CARBON MONOXIDE DETECTOR TO O.B.C. 9.10.19
	CONSTRUCTION NOTE
	EXHAUST FAN - VENT TO OUTSIDE
	NON-FREEZE HOSE BIB



NOTES	
REFER TO GENERAL NOTES FOR ALL TYPICAL CONSTRUCTION NOTES & DETAILS. WHEN DRAWINGS OR NOTES REFERENCE O.B.C. IN ALL CASES PLEASE REFER TO THE LATEST VERSION OF THE ONTARIO BUILDING CODE 2024.	
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LEGEND:	
EXTERIOR DOOR & WINDOW TAG (SEE SCHEDULE)	
INTERIOR DOOR TAG (SEE SCHEDULE)	
EXTERIOR WALL TYPE (SEE A.O.B.)	
INTERIOR PARTITION WALL TYPE (SEE A.O.B.)	
FLOOR TYPE (SEE A.O.B.)	



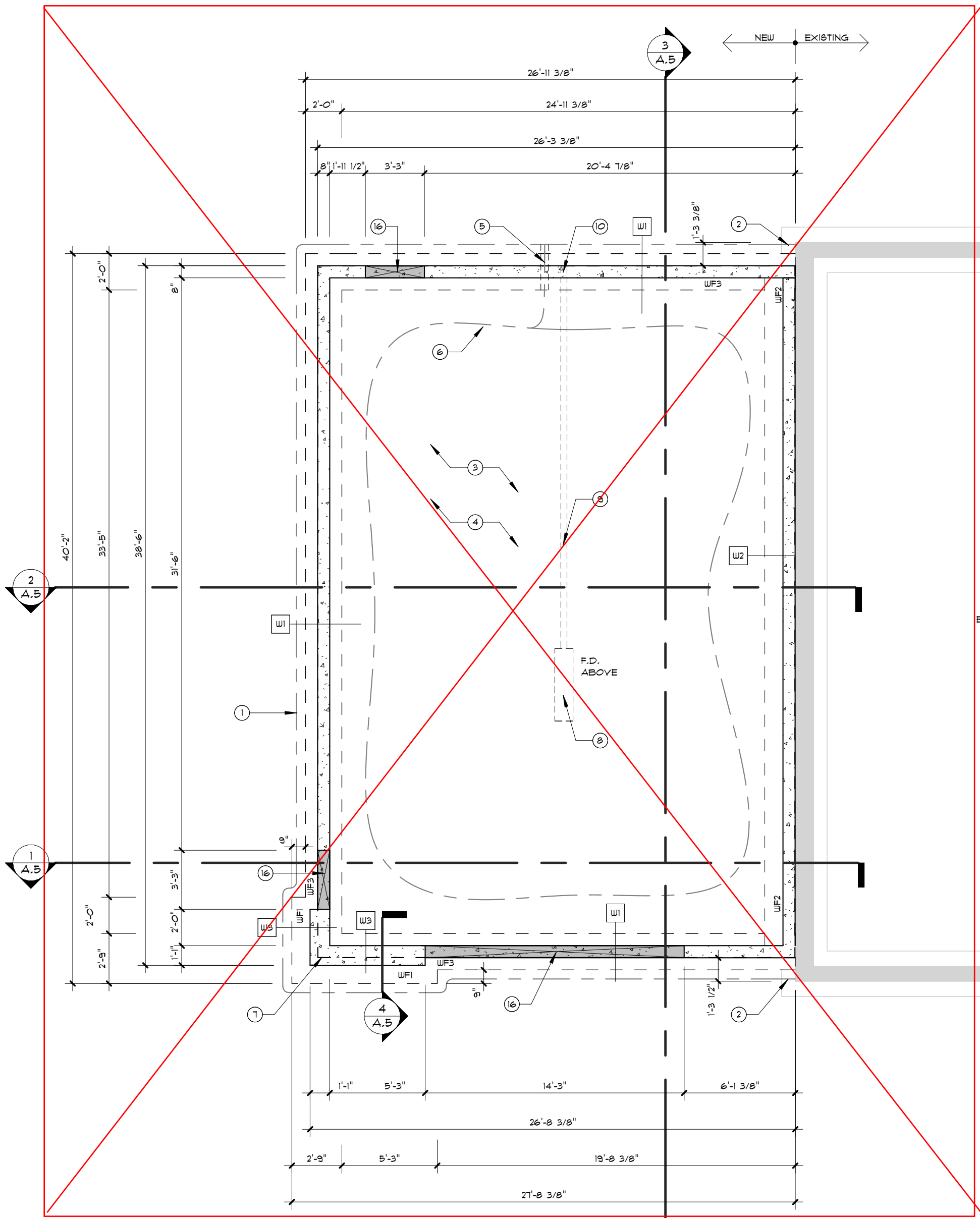
VERSION NO.	
2	
SEAL:	

REVISIONS		
NO	ITEM	DATE
1	ISSUED FOR SPA	02-25-2026
2	ISSUED FOR CONSULTANT REVIEW	04-01-2026
3	ISSUED FOR CONSULTANT REVIEW	05-25-2026

PROJECT	
240 COUNTY ROAD, 4 BATH ONTARIO, KOH IGO	
CLIENT	
LOYALIST TOWNSHIP - MILLHAVEN ADMIN BUILDING	
DRAWING	
SITE PLAN	

SCALE AS INDICATED	
DRAWN BY	AIT
DATE	SEP 28, 2023
CHECKED BY	AIT
APPROD BY	JCB
PROJECT NO.	223-026
SHEET NO.	

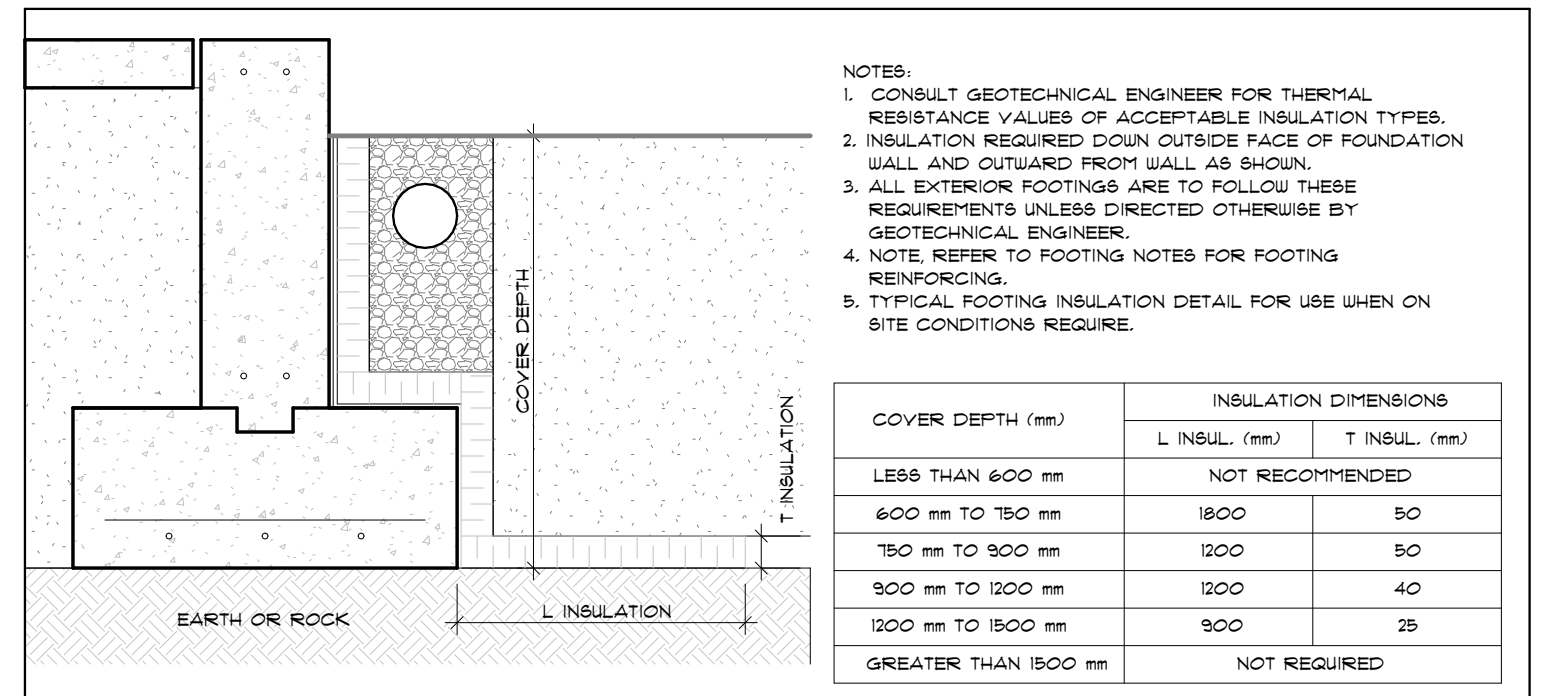
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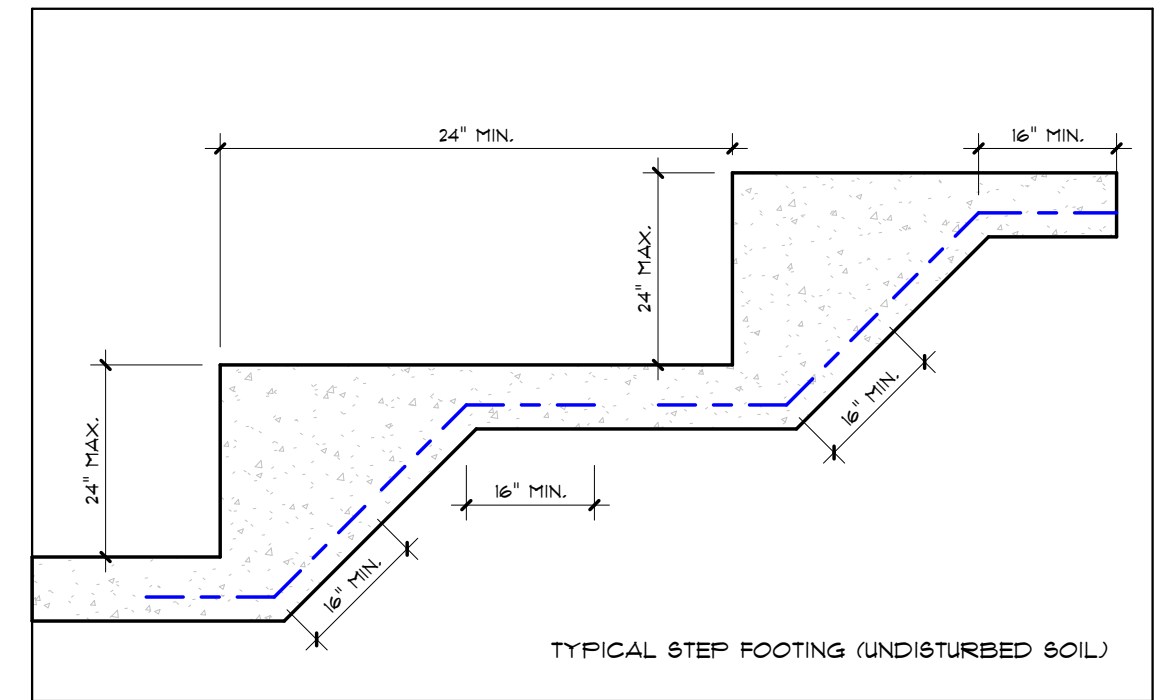
EXCLUDED FROM SCOPE OF WORK

1 FOUNDATION/ FOOTING PLAN
A.2 SCALE: 3/16" = 1'-0"

EXISTING FOUNDATION & FOOTING



2 STRIP FOOTING FROST PROTECTION
A.2 SCALE: 1" = 1'-0"



3 STEP FOOTING DETAIL
A.2 SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES LEGEND:	
1	4" (100mm) PERFORATED WEEPING TILE C.W. FILTER CLOTH AND 6" (150mm) CRUSHED STONE AS PER O.B.C. 9.14.3(4)
2	TIE WEEPING TILE INTO EXISTING TILE
3	IF NATIVE SOIL IS CLAY, REMOVE ALL NATIVE MATERIAL IN GARAGE TO THE LEVEL OF FOOTINGS AND BACKFILL WITH COMPACTED GRANULAR 'B'.
4	COMPACTION OF BACKFILL MATERIAL BENEATH GARAGE FLOOR SLAB AS PER O.B.C. 9.16.2.2. (4)
5	SLEEVE THROUGH FOOTING FOR INTERIOR TILE DRAIN
6	INTERIOR TILE DRAIN BELOW SLAB - 4" (100mm) PERFORATED WEEPING TILE C.W. FILTER CLOTH AND 6" (150mm) CRUSHED STONE AS PER O.B.C. 9.14.3(4)
7	FACE OF WALL FRAMING ABOVE
8	FLOOR DRAIN COMPLETE WITH T.S.P.
9	DRAINAGE PIPE BELOW SLAB
10	SLEEVE THROUGH FOUNDATION WALL FOR DRAINAGE PIPE
11	SAW CUTS IN SLAB (SEE STRUCTURAL FOR DETAILS)
12	EXISTING FRIDGE TO BE REINSTALLED
13	NEW CABINETS, COUNTERTOPS AND SINK (TO BE CONFIRMED BY CONTRACTOR)
14	RELOCATE EXISTING HOSE BIB (FINAL LOCATION TBD BY CONTRACTOR)
15	RELOCATE EXISTING PRESSURE WASHER AND HOSE REEL (FINAL LOCATION TBD BY CONTRACTOR)
16	REDUCE HEIGHT OF FOUNDATION WALL 16" & CONTINUE SLAB OVER FOUNDATION & PROVIDE THICKENED SLAB EDGE OVER FOUNDATION WALL
17	BEAM TO BEAR ON ON CMU WALL AS PER STRUCTURAL DETAIL 3/8201
18	NEW STACKABLE WASHER AND DRYERS

NOTES:
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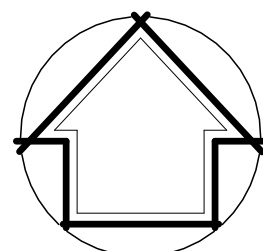
LEGEND:

- 1 EXTERIOR DOOR & WINDOW TAG (SEE SCHEDULE)
- 1 INTERIOR DOOR TAG (SEE SCHEDULE)
- W1 EXTERIOR WALL TYPE (SEE A.O.B.)
- PI INTERIOR PARTITION WALL TYPE (SEE A.O.B.)

LEGEND:

- F1 FLOOR TYPE (SEE A.O.B.)
- R1 ROOF TYPE (SEE A.O.B.)
- PI POST TYPE (SEE A.O.B.)
- LI LINTEL TYPE (SEE A.O.B.)
- F1 PAD FOOTING TYPE (SEE A.O.B.)
- WFI WALL FOOTING TYPE (SEE A.O.B.)
- 1 CONSTRUCTION NOTE

PROJECT NORTH:



BELL
+ASSOCIATES
ARCHITECTURE

186 Pembroke St. E.
Pembroke, ON K8A 3J7
613-629-6988
120 Terence Matthews Cres.
Unit B1, Ottawa, ON K2M 1P7
613-831-9688
info@bell.ca
bellarchitecture.ca

VERSION NO.

2

SEAL:

NOTES:

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REVISIONS

NO	ITEM	DATE
1	ISSUED FOR 25%	31/10/2023
2	ISSUED FOR 50%	01/12/2023
3	ISSUED FOR FINAL REVIEW	15/05/2024
4	ISSUED FOR PERMIT	05/19/2026

PROJECT

240 COUNTY ROAD 4,
BATH, ON KOH IGO

CLIENT

LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION

DRAWING

FOOTING/ FOUNDATION PLAN

SCALE AS INDICATED

DRAWN BY ETY

DATE SEPT. 12, 2023

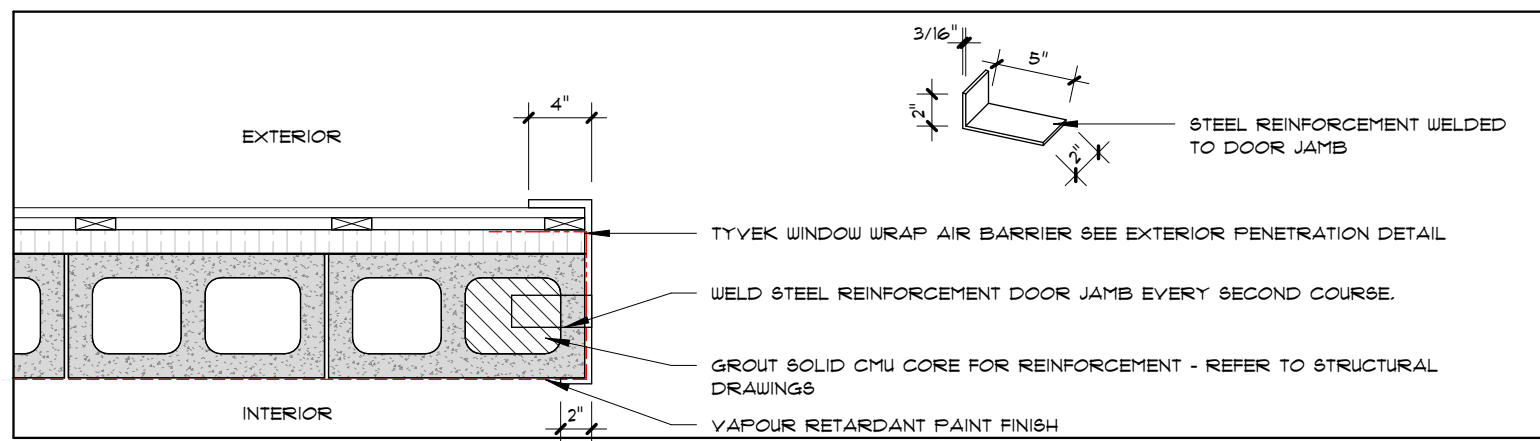
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APPRD BY JCB

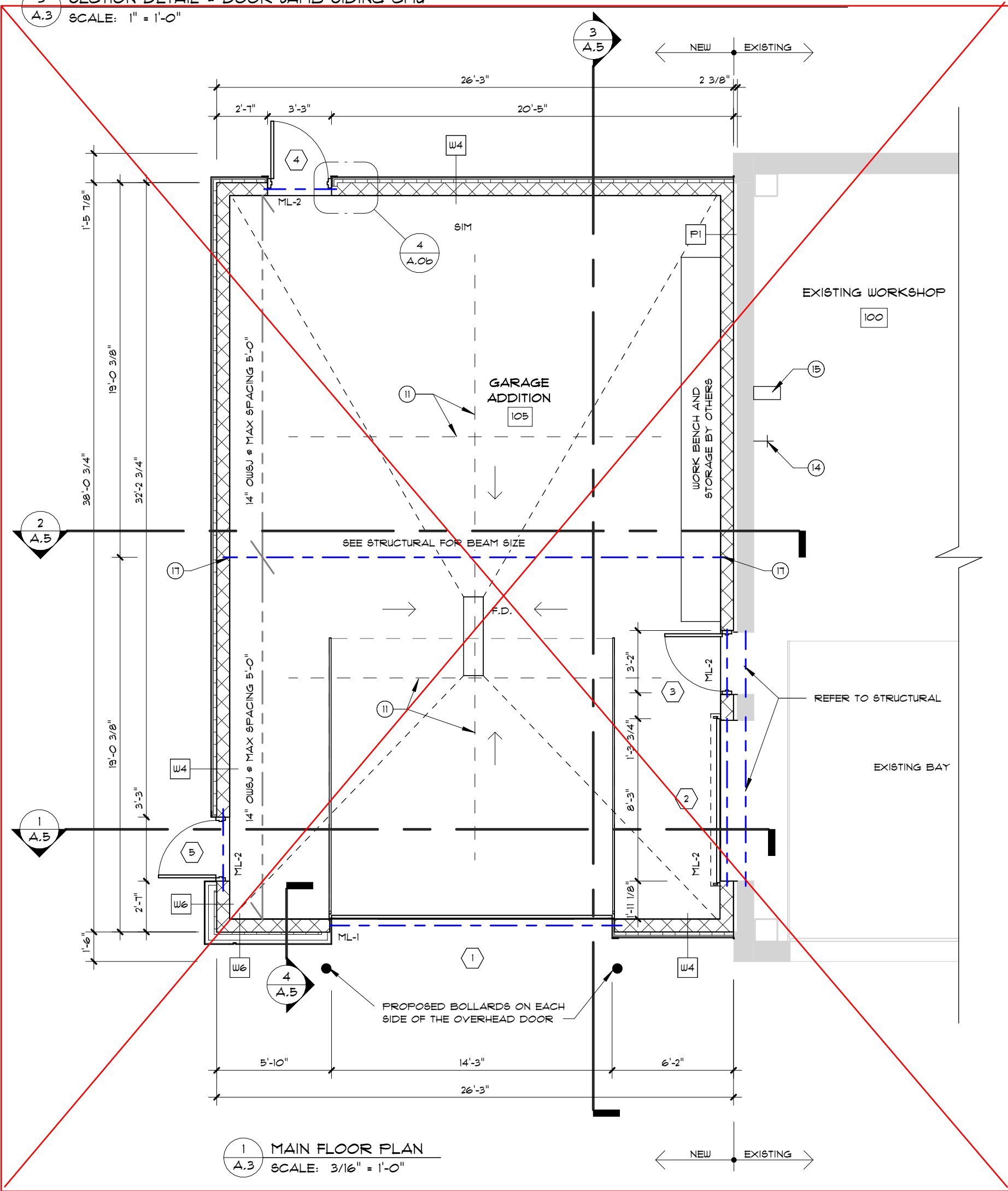
PROJECT NO. 223-056

SHEET NO.

A.2

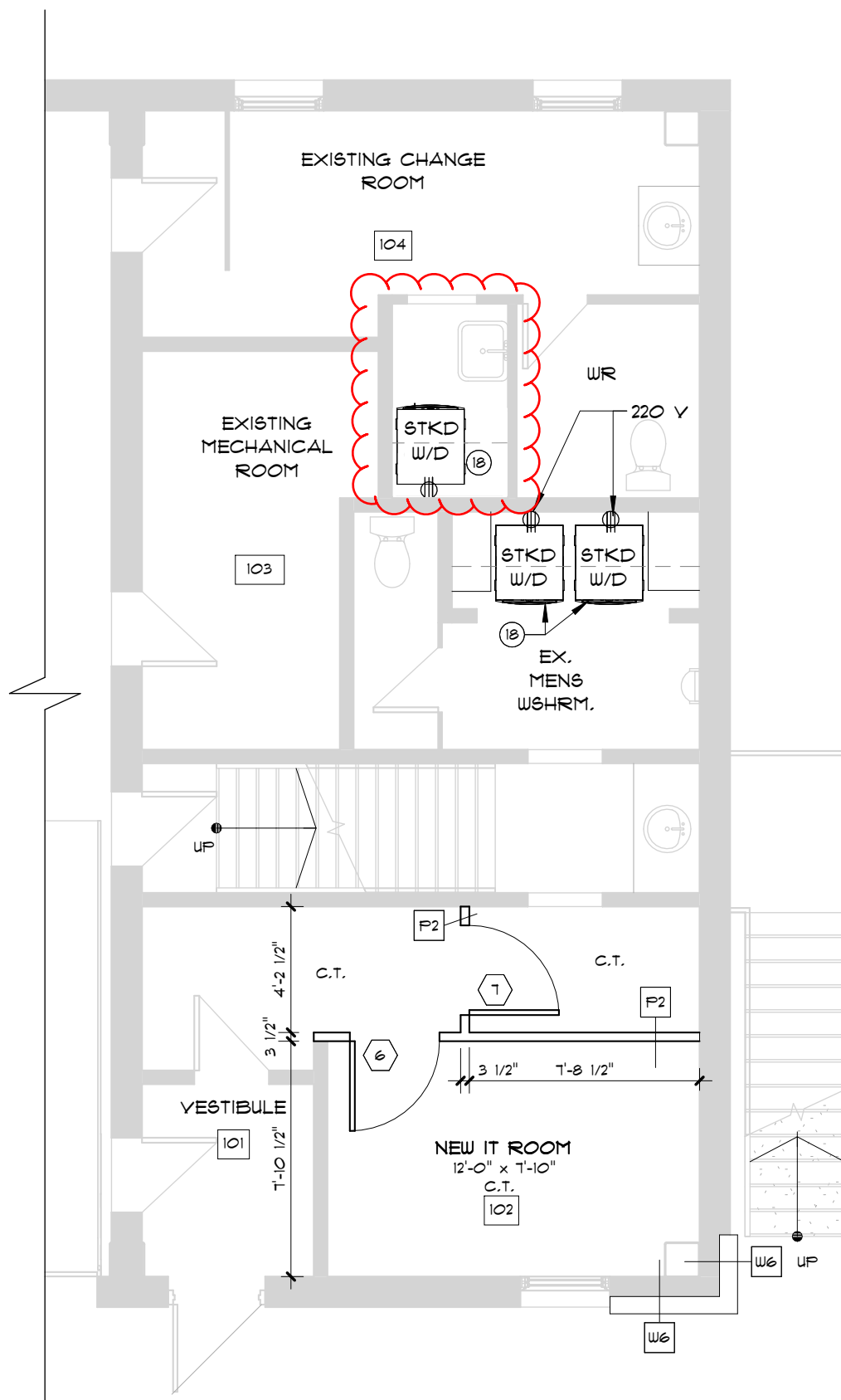


3 SECTION DETAIL @ DOOR JAMB SIDING CMU
A.3 SCALE: 1" = 1'-0"

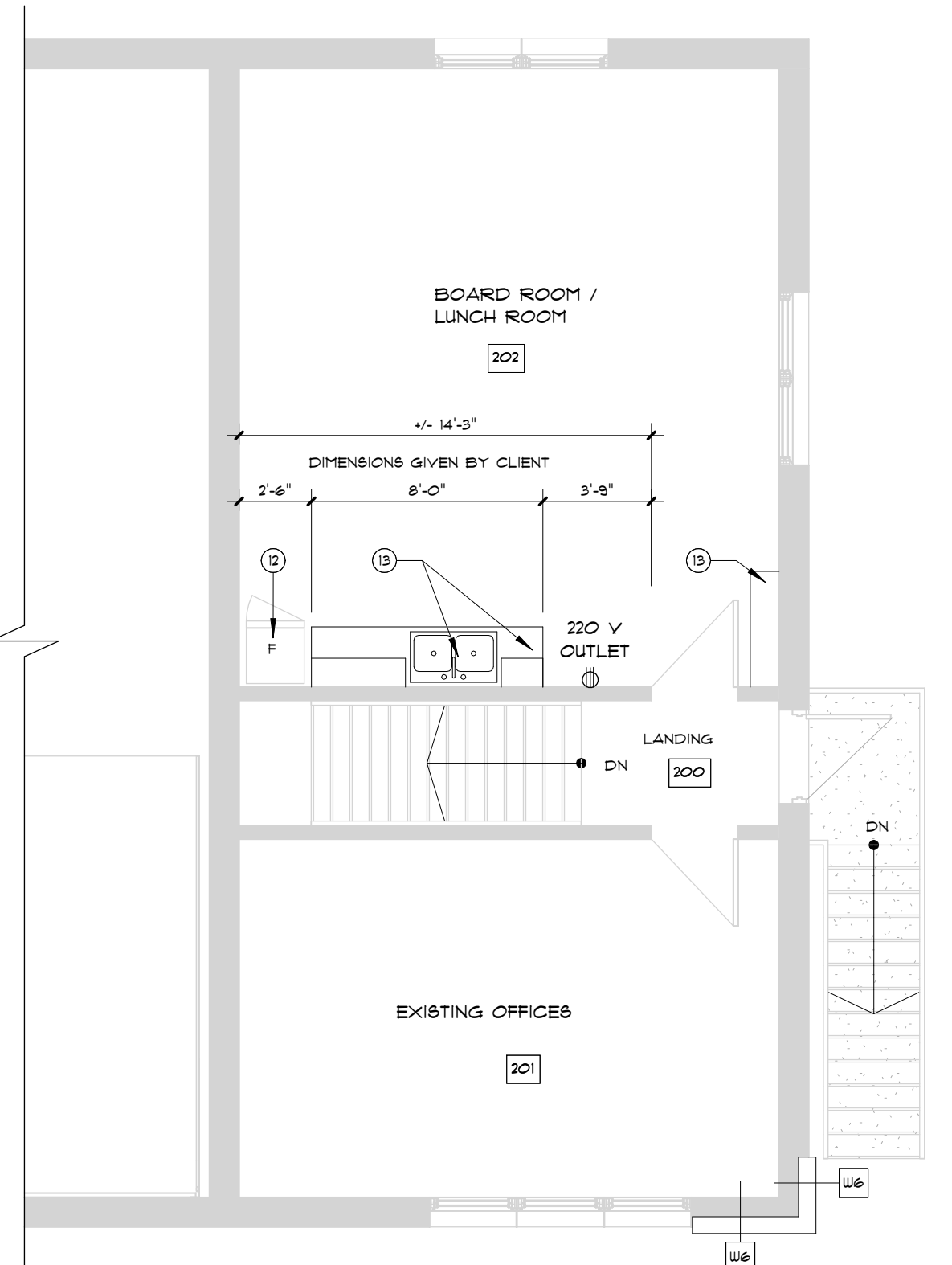


1 MAIN FLOOR PLAN
A.3 SCALE: 3/16" = 1'-0"

EXCLUDED FROM SCOPE OF WORK



EXISTING GARAGE & OFFICE (INCLUDING STAIRS) 4418 S.F. (410.45 SQ.M.)
ADDITION: 988 S.F. (92.80 SQ.M.)
TOTAL: 5411 S.F. (503.26 SQ.M.)



2 UPPER FLOOR PLAN
A.3 SCALE: 3/16" = 1'-0"

CONSTRUCTION NOTES LEGEND:

- 4" (100mm) PERFORATED WEEPING TILE C.W. FILTER CLOTH AND 6" (150mm) CRUSHED STONE AS PER O.B.C. 9.14.3(4)
- TIE WEEPING TILE INTO EXISTING TILE
- IF NATIVE SOIL IS CLAY, REMOVE ALL NATIVE MATERIAL IN GARAGE TO THE LEVEL OF FOOTINGS AND BACKFILL WITH COMPACTED GRANULAR 'B'.
- COMPACTION OF BACKFILL MATERIAL BENEATH GARAGE FLOOR SLAB AS PER O.B.C. 9.16.2.2. (4)
- SLEEVE THROUGH FOOTING FOR INTERIOR TILE DRAIN
- INTERIOR TILE DRAIN BELOW SLAB - 4" (100mm) PERFORATED WEEPING TILE C.W. FILTER CLOTH AND 6" (150mm) CRUSHED STONE AS PER O.B.C. 9.14.3(4)
- FACE OF WALL FRAMING ABOVE
- FLOOR DRAIN COMPLETE WITH T.S.F.
- DRAINAGE PIPE BELOW SLAB
- SLEEVE THROUGH FOUNDATION WALL FOR DRAINAGE PIPE
- SAW CUTS IN SLAB (SEE STRUCTURAL FOR DETAILS)
- EXISTING FRIDGE TO BE REINSTALLED
- NEW CABINETS, COUNTERTOPS AND SINK (TO BE CONFIRMED BY CONTRACTOR)
- RELOCATE EXISTING HOSE BIB (FINAL LOCATION TBD BY CONTRACTOR)
- RELOCATE EXISTING PRESSURE WASHER AND HOSE REEL (FINAL LOCATION TBD BY CONTRACTOR)
- REDUCE HEIGHT OF FOUNDATION WALL 16" & CONTINUE SLAB OVER FOUNDATION & PROVIDE THICKENED SLAB EDGE OVER FOUNDATION WALL
- BEAM TO BEAR ON ON CMU WALL AS PER STRUCTURAL DETAIL 3/5201
- NEW STACKABLE WASHER AND DRYERS

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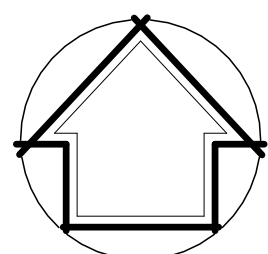
LEGEND:

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- W1 EXTERIOR WALL TYPE (SEE A.O.B)
- PI INTERIOR PARTITION WALL TYPE (SEE A.O.B)

LEGEND:

- F1 FLOOR TYPE (SEE A.O.B)
- R1 ROOF TYPE (SEE A.O.B)
- PI POST TYPE (SEE A.O.B)
- LI LINTEL TYPE (SEE A.O.B)
- F1 PAD FOOTING TYPE (SEE A.O.B)
- W1 WALL FOOTING TYPE (SEE A.O.B)
- 1 CONSTRUCTION NOTE

PROJECT NORTH:



BELL
+ASSOCIATES
ARCHITECTURE

+ 186 Pembroke St. E.
Pembroke, ON K8A 3J7
613-629-6988
+ 120 Terence Matthews Cres.
Unit B1, Ottawa, ON K2M 1P7
613-831-9688
+ info@bell.ca
bellarchitecture.ca

VERSION NO.

2

SEAL:

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REVISIONS

NO	ITEM	DATE
1	ISSUED FOR 25%	31/10/2023
2	ISSUED FOR 50%	01/12/2023
3	ISSUED FOR FINAL REVIEW	15/05/2024
4	ISSUED FOR PERMIT	05/19/2026

PROJECT

240 COUNTY ROAD 4,
BATH, ON KOH IGO

CLIENT

LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION

DRAWING

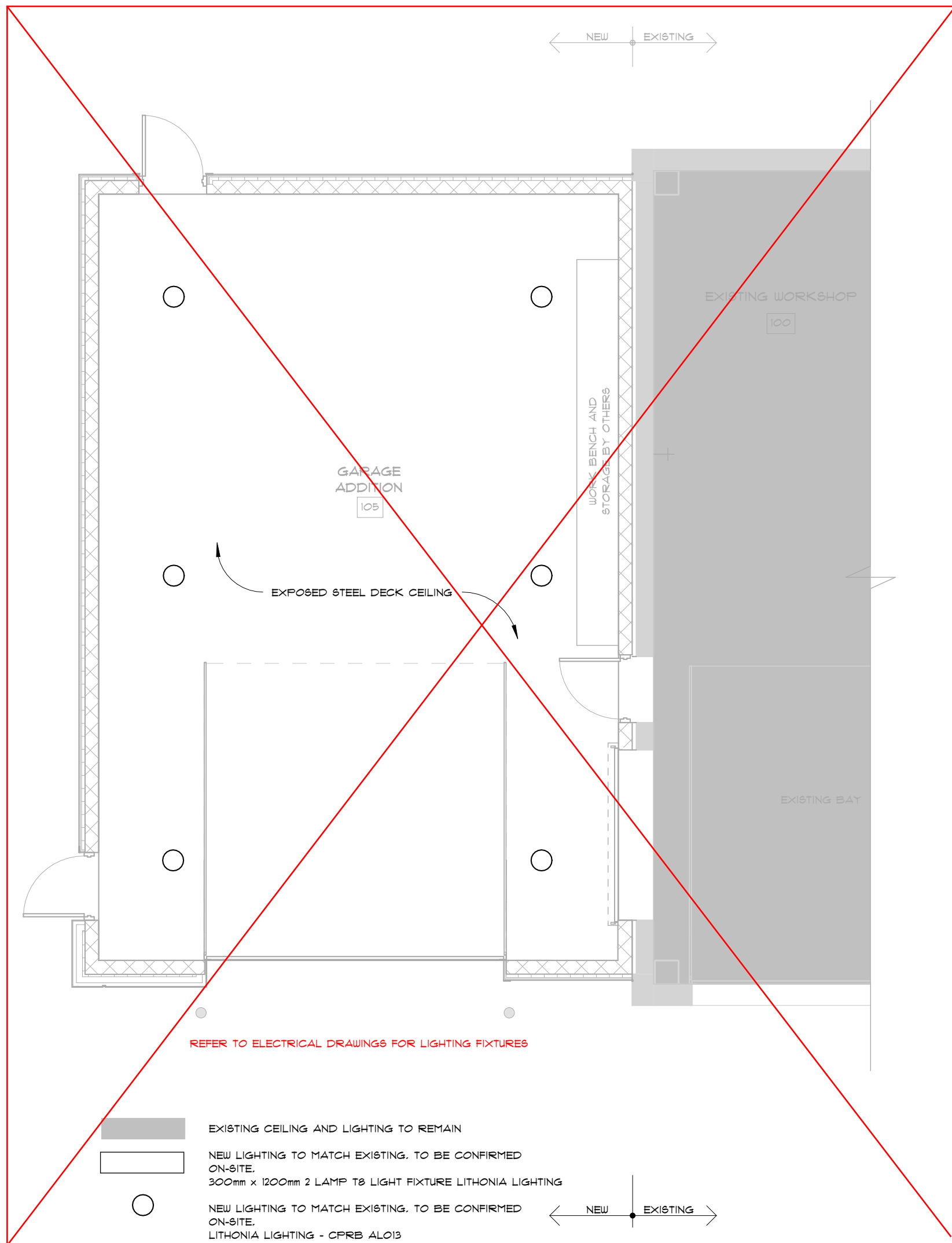
MAIN FLOOR/ UPPER FLOOR
PLAN

SCALE AS INDICATED

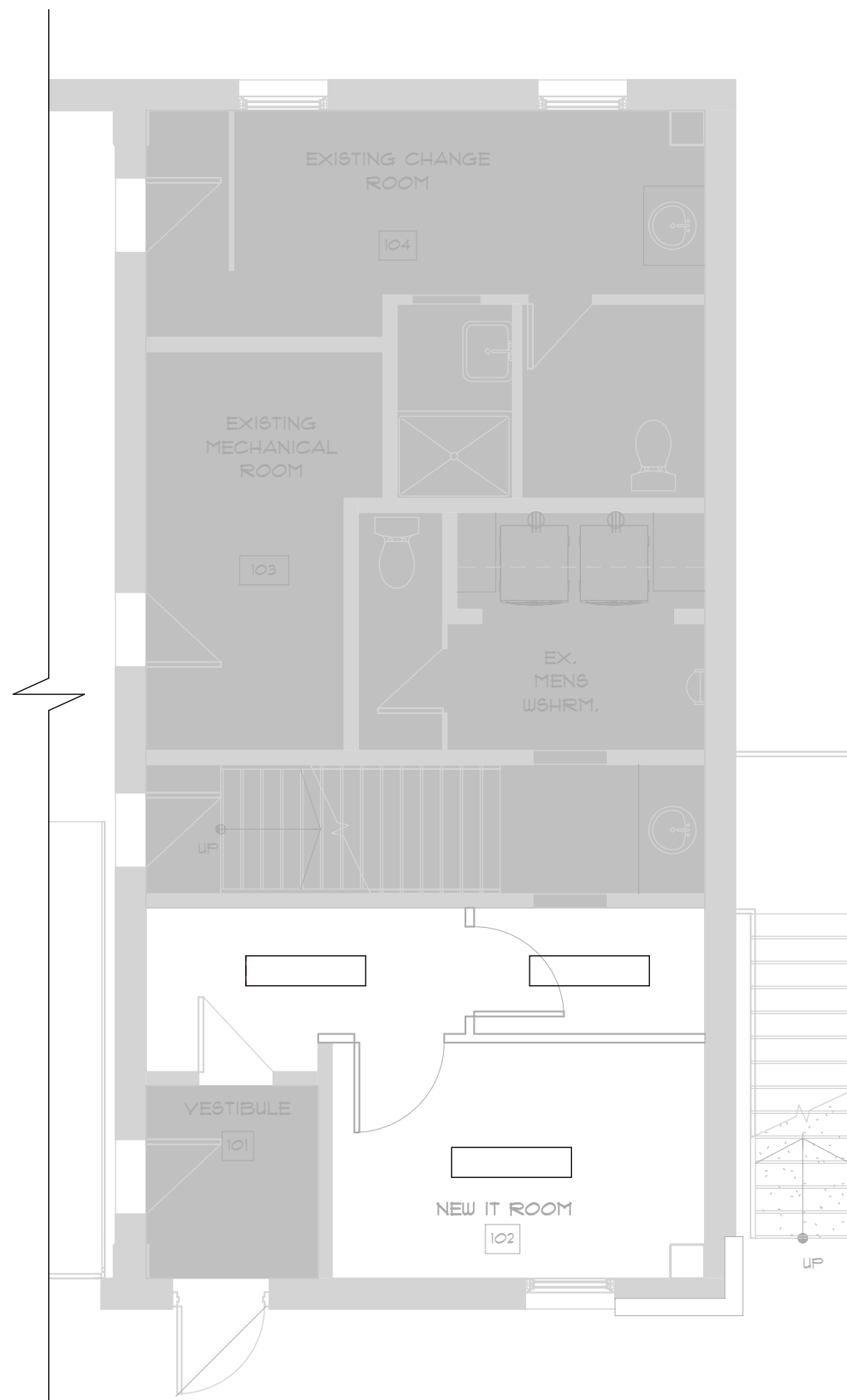
DRAWN BY ETY
DATE SEPT. 12, 2023
CHKD BY TJG
APPRD BY JCB
PROJECT NO. 223-056
SHEET NO.

A.3

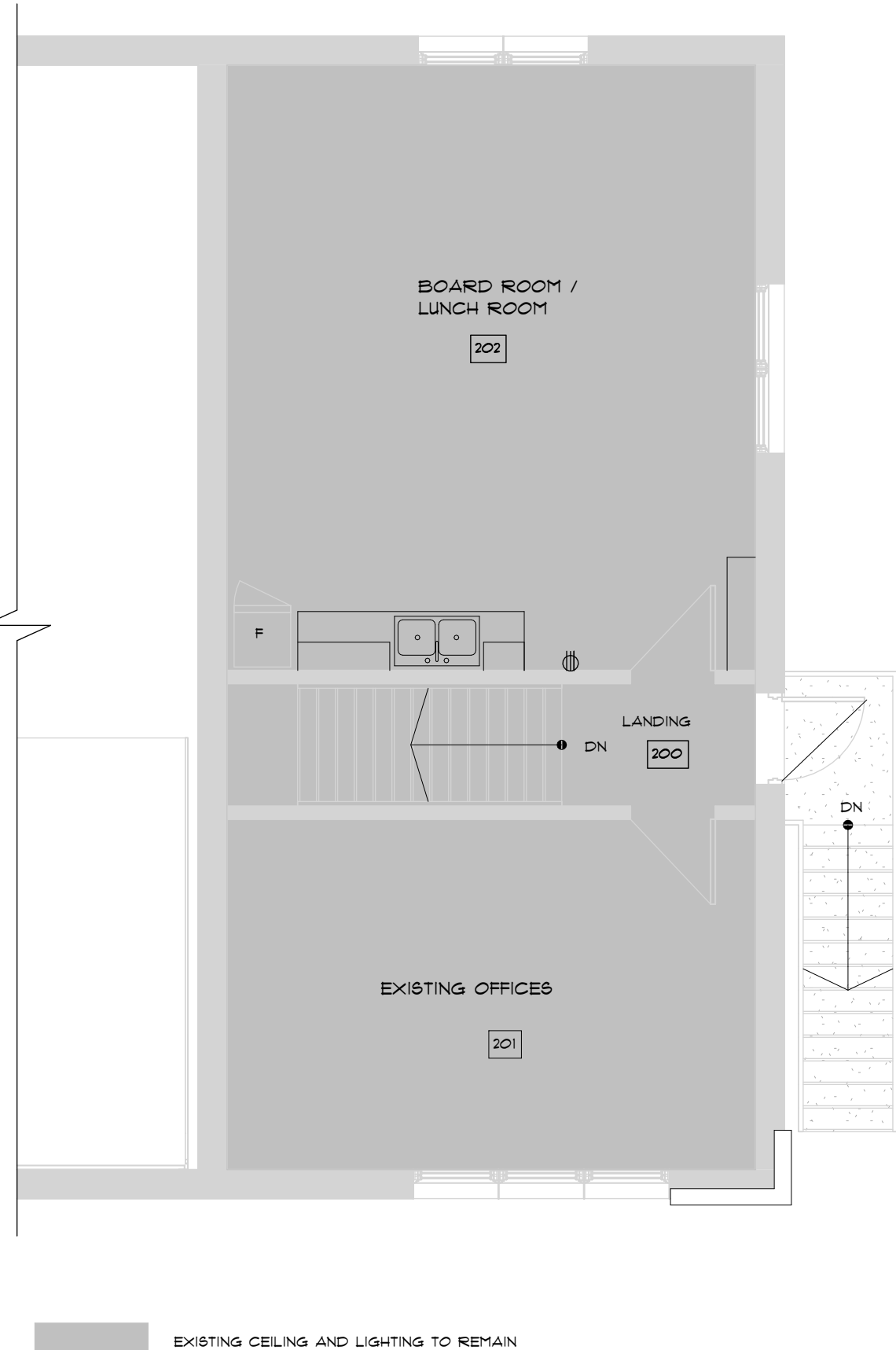
EXCLUDED FROM SCOPE OF WORK



1 MAIN FLOOR REFLECTED CEILING PLAN
A.3.1 SCALE: 3/16" = 1'-0"



2 UPPER FLOOR REFLECTED CEILING PLAN
A.3.1 SCALE: 3/16" = 1'-0"



2 UPPER FLOOR REFLECTED CEILING PLAN
A.3.1 SCALE: 3/16" = 1'-0"

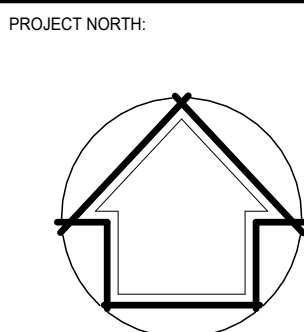
PERMIT SET

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 - R1 ROOF TYPE (SEE A.O.B)
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 - 1 CONSTRUCTION NOTE



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VERSION NO.
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SEAL:

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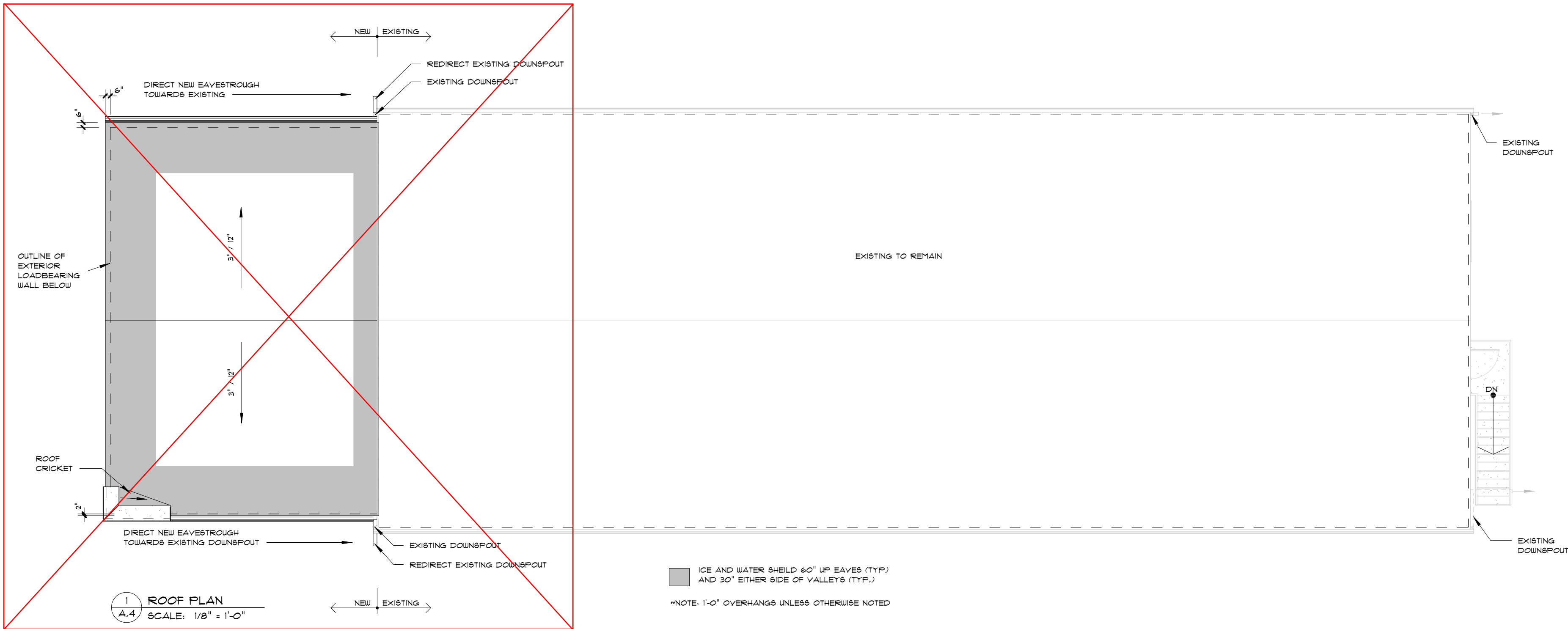
REVISIONS		
NO	ITEM	DATE
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PROJECT
**240 COUNTY ROAD 4,
BATH, ON KOH IGO**

CLIENT
**LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION**

DRAWING
REFLECTED CEILING PLAN

SCALE AS INDICATED
DRAWN BY ETY
DATE SEPT. 12, 2023
CHKD BY TJG
APPRD BY JCB
PROJECT NO. 223-05b
SHEET NO.
A.3.1



1
A.4
ROOF PLAN
SCALE: 1/8" = 1'-0"

EXCLUDED FROM SCOPE OF WORK

ROOM FINISH SCHEDULE									
NOTE: BASE COLOUR TO BE DETERMINED BY ARCHITECT									
ROOM #	ROOM NAME	FLOOR	BASE	CEILING	CEILING COLOUR	WALLS			
						NORTH	EAST	SOUTH	WEST
100	EXISTING WORKSHOP			EXISTING TO REMAIN					PT1
101	VESTIBULE			EXISTING TO REMAIN					
102	EXISTING CHANGE ROOM			EXISTING TO REMAIN					
103	EXISTING MECHANICAL ROOM			EXISTING TO REMAIN					
104	EXISTING CHANGE ROOM			EXISTING TO REMAIN					
105	GARAGE ADDITION	CON	N/A	OW&J		PT1	PT1	PT1	PT1
200	LANDING	VIN	N/A	E.T.R.	E.T.R.	PT2	PT2	PT2	PT2
201	OFFICE	VIN	N/A	E.T.R.	E.T.R.	PT2	PT2	PT2	PT2
202	BOARD ROOM / LUNCH ROOM	VIN	N/A	E.T.R.	E.T.R.	PT2	PT2	PT2	PT2

P.C.T. VIN CON OW&J PT1 PT2 E.T.R.

- PORCELAIN TILE
- VINYL FLOORING T.B.D.
- POLISHED CONCRETE
- 4" JOHNSON RUBBER BASE
- OPEN WEB STEEL JOISTS
- WHITE VAPOUR RETARDANT PAINT
- SAND, PRIME AND PAINT FOR FULL COVERAGE (COLOUR TBD BY CLIENT)
- ALL MAIN WALLS
- EXISTING TO REMAIN

2
A.5
ROOM FINISH SCHEDULE
SCALE: 3/16" = 1'-0"

NOTES:
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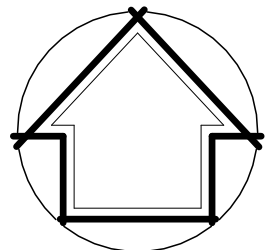
LEGEND:

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LEGEND:

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- LI LINTEL TYPE (SEE A.O.B.)
- FI PAD FOOTING TYPE (SEE A.O.B.)
- WFI WALL FOOTING TYPE (SEE A.O.B.)
- 1 CONSTRUCTION NOTE

PROJECT NORTH:



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+ASSOCIATES
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bellarchitecture.ca

VERSION NO.

2

SEAL:

NOTES:
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REVISIONS

NO	ITEM	DATE
1	ISSUED FOR 25%	31/10/2023
2	ISSUED FOR 50%	01/12/2023
3	ISSUED FOR FINAL REVIEW	15/05/2024
4	ISSUED FOR PERMIT	05/19/2026

PROJECT

240 COUNTY ROAD 4,
BATH, ON KOH IGO

CLIENT

LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION

DRAWING

ROOF PLAN/ ROOM FINISH
SCHEDULE

SCALE AS INDICATED

DRAWN BY ETY

DATE SEPT. 12, 2023

CHKD BY TJG

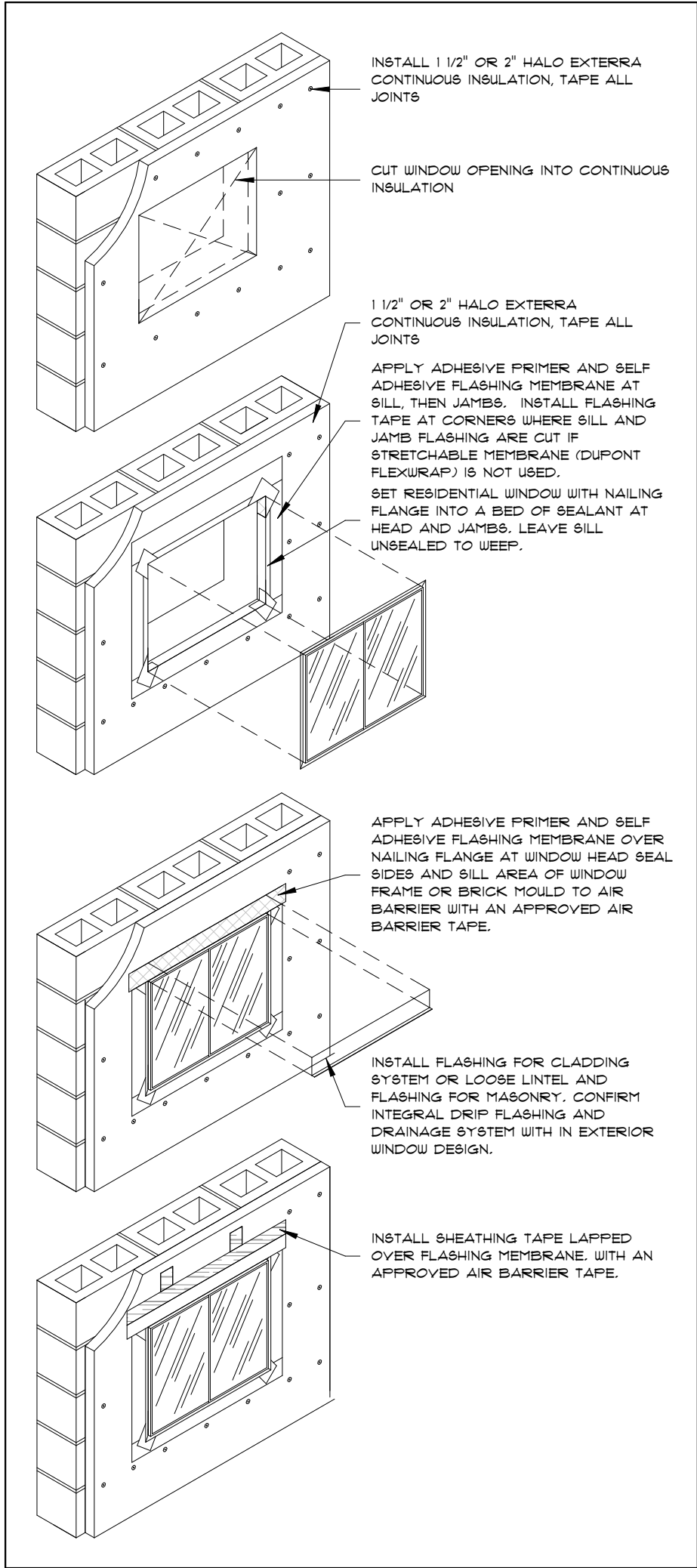
APPRD BY JCB

PROJECT NO. 223-056

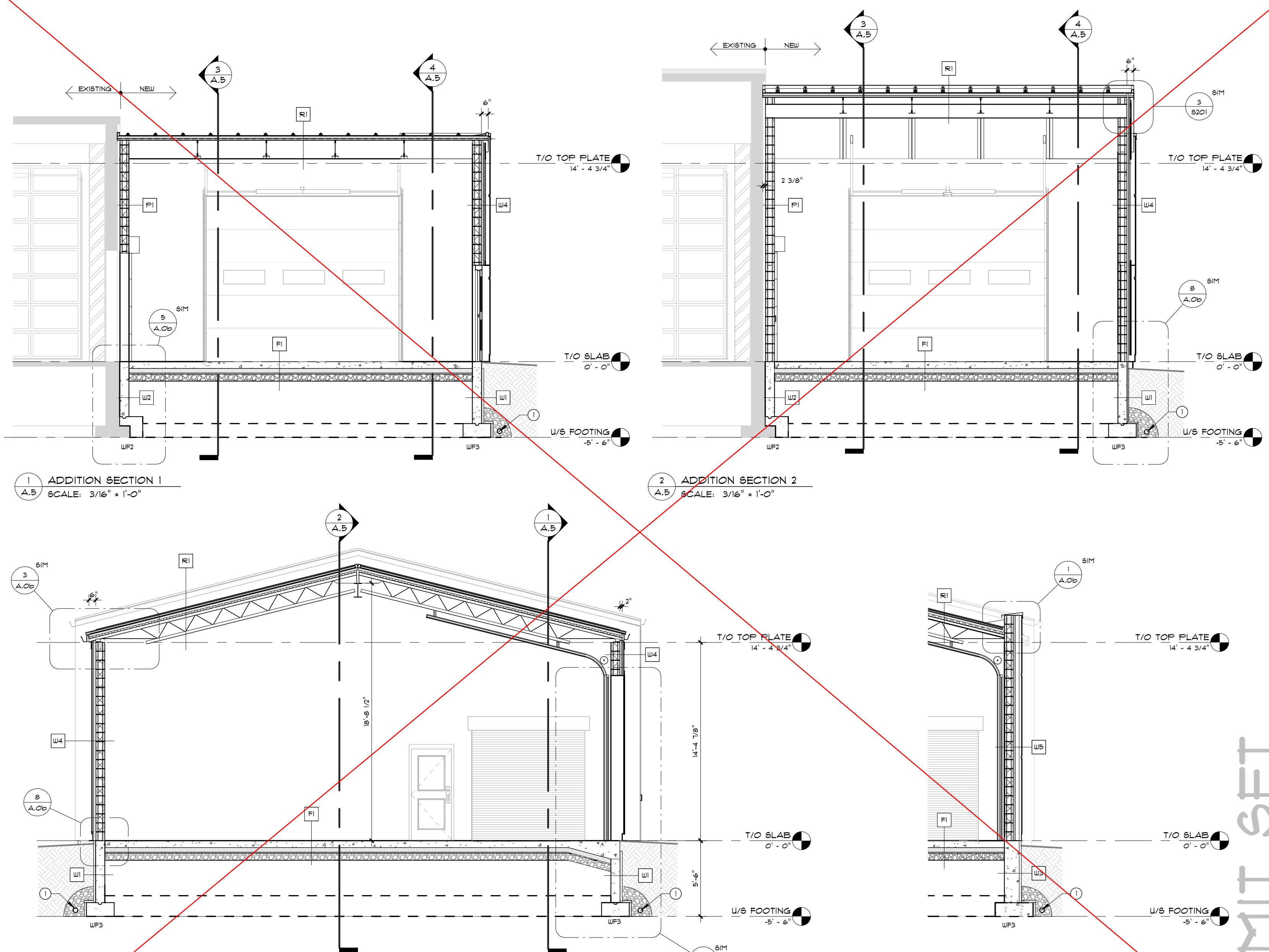
SHEET NO.

A.4

PERMIT SET



5 EXT. WALL PENETRATION WRAP DETAIL W/ RIGID
SCALE: 1/2" = 1'-0"



1 ADDITION SECTION 1
SCALE: 3/16" = 1'-0"

2 ADDITION SECTION 2
SCALE: 3/16" = 1'-0"

3 ADDITION SECTION 3
SCALE: 3/16" = 1'-0"

4 WALL SECTION
SCALE: 3/16" = 1'-0"

EXCLUDED FROM SCOPE OF WORK

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PROJECT NORTH:

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VERSION NO.

2

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PROJECT

240 COUNTY ROAD 4,
BATH, ON KOH IGO

CLIENT

LOYALIST TOWNSHIP - MILLHAVEN
GARAGE STORAGE EXPANSION

DRAWING

BUILDING SECTIONS

SCALE AS INDICATED

DRAWN BY ETY

DATE SEPT. 12, 2023

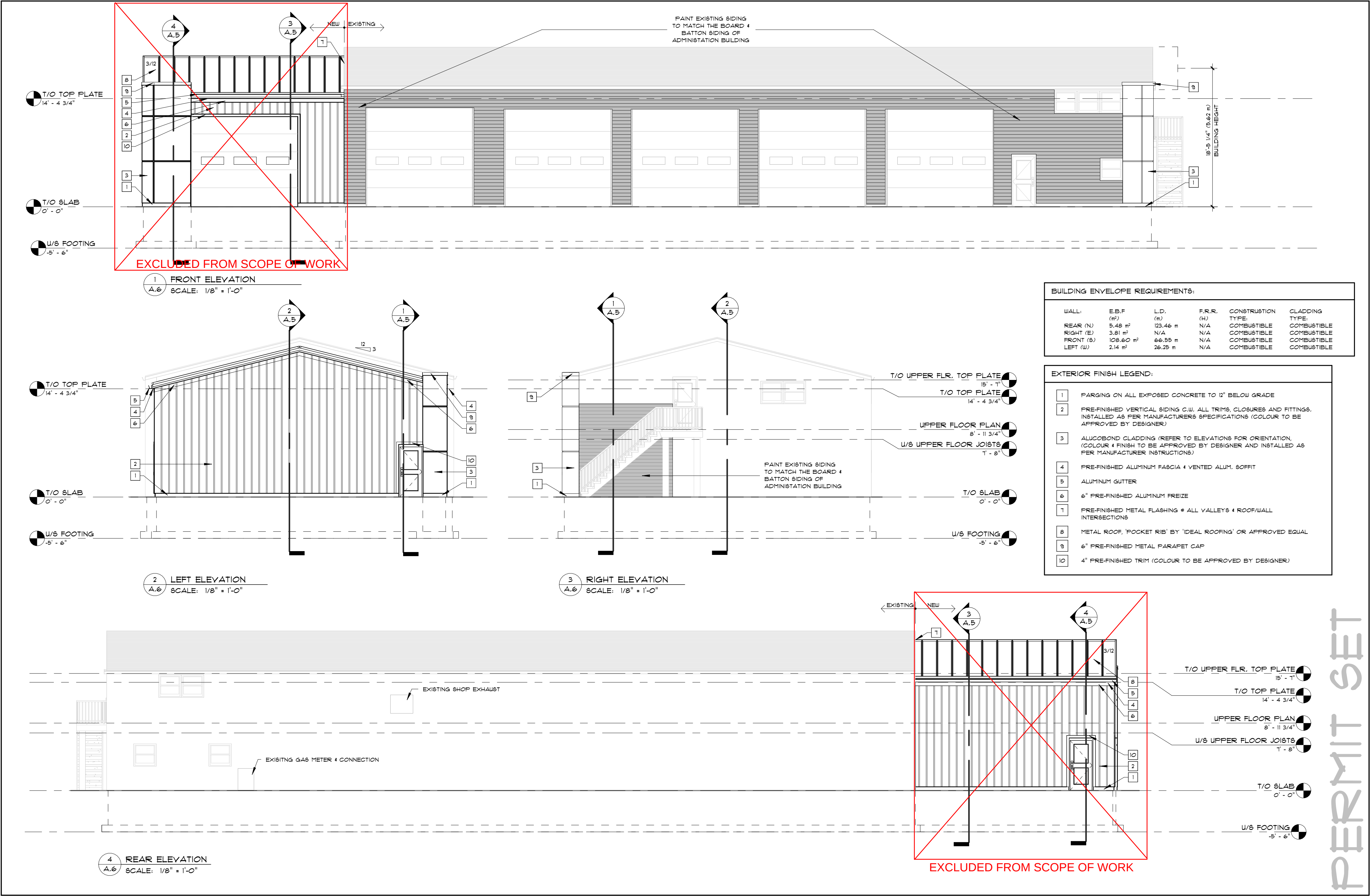
CHKD BY TJG

APPRD BY JCB

PROJECT NO. 223-056

SHEET NO.

A.5



BUILDING ENVELOPE REQUIREMENTS:					
WALL:	E.B.F. (m ²)	L.D. (m)	F.R.R. (H)	CONSTRUCTION TYPE:	CLADDING TYPE:
REAR (N)	5.48 m ²	123.46 m	N/A	COMBUSTIBLE	COMBUSTIBLE
RIGHT (E)	3.81 m ²	N/A	N/A	COMBUSTIBLE	COMBUSTIBLE
FRONT (S)	108.60 m ²	66.55 m	N/A	COMBUSTIBLE	COMBUSTIBLE
LEFT (W)	2.14 m ²	26.25 m	N/A	COMBUSTIBLE	COMBUSTIBLE

EXTERIOR FINISH LEGEND:	
1	PARGING ON ALL EXPOSED CONCRETE TO 12" BELOW GRADE
2	PRE-FINISHED VERTICAL SIDING C.W. ALL TRIMS, CLOSURES AND FITTINGS. INSTALLED AS PER MANUFACTURERS SPECIFICATIONS (COLOUR TO BE APPROVED BY DESIGNER)
3	ALUCOBOND CLADDING (REFER TO ELEVATIONS FOR ORIENTATION. (COLOUR & FINISH TO BE APPROVED BY DESIGNER AND INSTALLED AS PER MANUFACTURER INSTRUCTIONS)
4	PRE-FINISHED ALUMINUM FASCIA & VENTED ALUM. SOFFIT
5	ALUMINUM GUTTER
6	6" PRE-FINISHED ALUMINUM FREIZE
7	PRE-FINISHED METAL FLASHING @ ALL VALLEYS & ROOF/WALL INTERSECTIONS
8	METAL ROOF, 'POCKET RIB' BY 'IDEAL ROOFING' OR APPROVED EQUAL
9	6" PRE-FINISHED METAL PARAPET CAP
10	4" PRE-FINISHED TRIM (COLOUR TO BE APPROVED BY DESIGNER)

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DRAWING

ELEVATIONS

SCALE AS INDICATED

DRAWN BY ETY

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CHKD BY TJG

APPRD BY JCB

PROJECT NO. 223-026

SHEET NO.

A.6